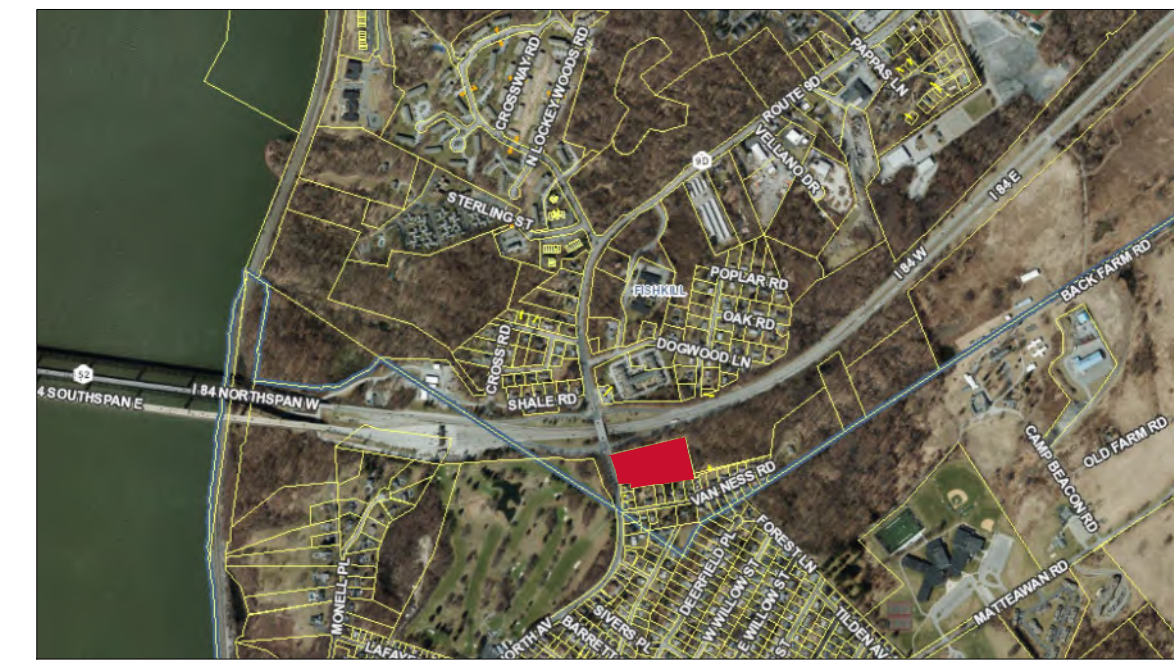


Adjacent Property Owners

1292 Realty LLC 268 Main St Beacon, NY 12508 For Property: 13308900595500048902740000	1292 Realty LLC 268 Main St Beacon, NY 12508 For Property: 133089005955000488222860000	9D & 184 Realty LLC 1314 Route 9D Beacon, NY 12508 For Property: 13308900595500048423470000
Justin C. Amundson 23 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049462620000	Paul W. Banks 20 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049322770000	Jill A. Basso 21 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049402590000
Carlene M. Blanchfield, Trustee 30 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769352340000	Royal Bogardus 16 Vail Ave Beacon, NY 12508 For Property: 130200005955000758742330000	Royal Bogardus 16 Vail Ave Beacon, NY 12508 For Property: 13308900595500048742420000
Cheyenne E. Boyle-Cole 19 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048332560000	Lorraine M. Casscles 14 Van Ness Rd Beacon, NY 12508 For Property: 133089005955000491327030000	Jana Lyn Conway, Trustee 27 Van Ness Rd Beacon, NY 12508 For Property: 1330890059550004892690000
William E. Dexter 37 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769632460000	Arvind Dilawar 25 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049532650000	Rody J. Dwan, LT 29 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049662730000
Eric Eisenberg 1270 North Ave Unit 1 Beacon, NY 12508 For Property: 130200005955000758682250000	Anita V. Espinal 6 Woodland Rd Beacon, NY 12508 For Property: 13308900595500049103490000	Jacklyn M. Faust 98 Dutchess Ter Beacon, NY 12508 For Property: 13308900595500049072270000
Lorraine Festa 15 Van Ness Rd Md Beacon, NY 12508 For Property: 13308900595500049102470000	Mark C. Frankos 83 Dutchess Ter Beacon, NY 12508 For Property: 130200005955000788832160000	June Frisenda, LT 85 Dutchess Ter Beacon, NY 12508 For Property: 130200005955000788852230000
Eric Frost 34 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769452460000	David Gershkovich 17 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049242510000	Carmine D. Giordano, LT 26 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049562860000
Jonathan Halevah 36 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769542500000	Horizons at Dogwood Lane LLC 1055 Saw Mill River Rd Ardsley, NY 10502 For Property: 13308900595500048683560000	James Jakuba 53 Brothers Rd Wappingers Falls, NY 12590 For Property: 1330890059550004857270000
Richard Lepere 12 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049032680000	Boris Liberman 370 E 76th St Apt C103 New York, NY 10021 For Property: 13308900595500048812440000	Sheila Lola Macrae-Ariel 2 Van Ness Rd Beacon, NY 12508 For Property: 1330890059550004892560000
Jesse Maietta 99 Dutchess Ter Beacon, NY 12508 For Property: 13308900595500048912300000	Cheryl Anne Mandala 39 Sinsinwater Pl Newport Beach, CA 92660 For Property: 1330890059550004892630000	Mijail Mariano 22 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049412800000
Matthew J. Maye 18 Van Ness Rd Beacon, NY 12508 For Property: 133089005955000494022890000	Matthew J. Maye 18 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049252740000	Case S. Meeuwisse, Trustee 28 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048682920000
N Y S Matteawan St Hospital For Property: 13020000605500032513520000	Organs of Generation Inc 232 Mulberry St Apt 4A New York, NY 10012 For Property: 130200005955000758612410000	Organs of Generation Inc 232 Mulberry St Apt 4A New York, NY 10012 For Property: 13308900595500048852440000
Anthony Paul Ricevuto 4 Woodland Rd Md Beacon, NY 12508 For Property: 13308900595500049093630000	Salvation Army The 120-130 W 14th St New York, NY 10011 For Property: 130200005955000789402400000	Ronald L. Smith 28 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769272210000
Liisa M. Sorensen 10 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048932670000	Southern Dut Co Club 1209 North Ave Beacon, NY 12508 For Property: 13308900595500048222760000	Southern Dutchess Country Club 1209 North Ave Beacon, NY 12508 For Property: 1302000059550004770210000
Michal Stachnik 11 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048932430000	Sean Paul Stewart 6 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048732630000	Norman Sweeney 16 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500049182710000
Kevin Vacirca 1274 North Ave Beacon, NY 12508 For Property: 130200005955000758642350000	Kevin Vacirca 1274 North Ave Beacon, NY 12508 For Property: 13308900595500048692390000	Byron K. VanVlack, IV 8 Van Ness Rd Beacon, NY 12508 For Property: 13308900595500048852650000
Frank F. Voght, LT PO Box 1042 Beacon, NY 12508 For Property: 13308900595500048582630000	Derek C. Wieseahn 137 W Main St Stamford, NY 12167 For Property: 13308900595500049273480000	Wilmington Savings Fund 3020 Old Ranch Pkwy Unit 180 Seal Beach, CA 90740 For Property: 13308900595500049303600000
Rebecca Wisotsky 28 Deerfield Pl Beacon, NY 12508 For Property: 130200005955000769312280000		

Zoning Regulations Table

Zoning District	Lot Size Minimum / Existing			Yard Minimum / Proposed				Building Height Maximum / Proposed		Building Coverage & Paved Area Maximum / Proposed	Floor Area Ratio Maximum / Proposed
	Area	Width	Depth	Front (From Centerline of Street)	Front (From Lot Line)	Side	Rear	Stories	Feet		
RB - Restricted Business	5 Ac. / 4.7 Ac.	300' / 331.7'	300' / 626.9'	125' / 250.1'	100' / 200.1'	100' / 110.3'	100' / 169.8'	2.5 / 2	35' / 30'	60% / 30%	0.25 / 0.25



Location Map

Not to Scale

Zoning Summary

Zoning District:	RB – Restricted Business
Tax Map No.:	133089-5955-04-882288
Lot Area:	4.7 Acres
Building Area:	51,500 square feet
Existing Use:	Abandoned (Vacant)
Proposed Use:	Self-Storage

Parking & Loading

Use & Parking Requirements	Area	Parking Requirement
Wholesale, commercial, utility or other similar commercial use 1 space per employee but not less than 1 space per 1,000 square feet of gross floor area	51,500 SF	52 spaces
Total Required Parking Spaces		52 spaces required
Total Proposed Parking Spaces		26 spaces proposed <i>See Note 1</i>

Notes:

1. Seeking a 50% waiver from the Planning Board for the required number of parking spaces. Reduced parking is being proposed based on data published by the Institute of Traffic Engineers in the ITE Parking Generation, a metric suggested by the Planning Board's Consulting Engineers in review of previous Self-Storage proposals in the Town of Fishkill. The ITE estimates that the highest Average Peak Period Parking Demand is 0.17 spaces per 1,000 square feet of Gross Floor Area. Based on ITE information, the largest parking demand for the proposed facility would be 9 spaces. 26 spaces are being proposed along with 7 loading spaces.

Use & Off-Street Loading Requirements	Area	Loading Requirement
Industry, wholesale businesses, storage, warehouses and other similar commercial establishments 1 space for the first 20,000 square feet of gross floor area or portion thereof and 1 space for each additional 40,000 square feet of gross floor area or portion thereof	51,500 SF	2 spaces
Total Required Loading Spaces		2 spaces required
Total Proposed Loading Spaces		7 spaces proposed

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/16/21	PLANNING BOARD SUBMISSION	AJS
2	3/30/22	REVISED PER PLANNING BOARD COMMENTS	AJS
3	11/23/22	REVISED PER PLANNING BOARD COMMENTS	AJS
4	2/15/23	REVISED PER PLANNING BOARD COMMENTS	AJS
5	5/24/23	REVISED PER PLANNING BOARD COMMENTS	AJS
6	2/28/24	pDEIS SUBMISSION	AJS
7	6/26/24	pDEIS RESUBMISSION	AJS

PLANNING BOARD OF THE TOWN OF FISHKILL, NY

Approved by Resolution of the Planning Board of the Town of Fishkill, New York, on the _____ day of _____, 20_____, subject to all requirements and conditions of the said Resolution. Any change, erasures, modifications, or revisions of these Plans as approved shall void this approval.

Signed this _____ day of _____, 20_____

by _____

Planning Board Chair

DUTCHESS COUNTY DEPARTMENT OF HEALTH POUGHKEEPSIE, NEW YORK

DATE: _____

PROJECT: _____

SUPERVISING PUBLIC HEALTH ENGINEER

OWNER'S CONSENT NOTE

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

DATE

Owner:
1292 Realty LLC
268 Main Street
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Lawrence J. Paggi, PE, PC
43 Broad Street
Fishkill, New York 12524

Landscape Architect:
The Michael Boice Collaboration
11 South Fowlerhouse Road
Wappinger Falls, New York 12590

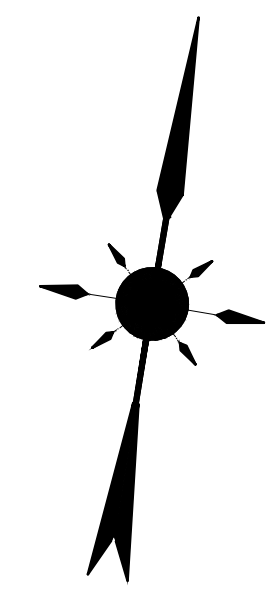
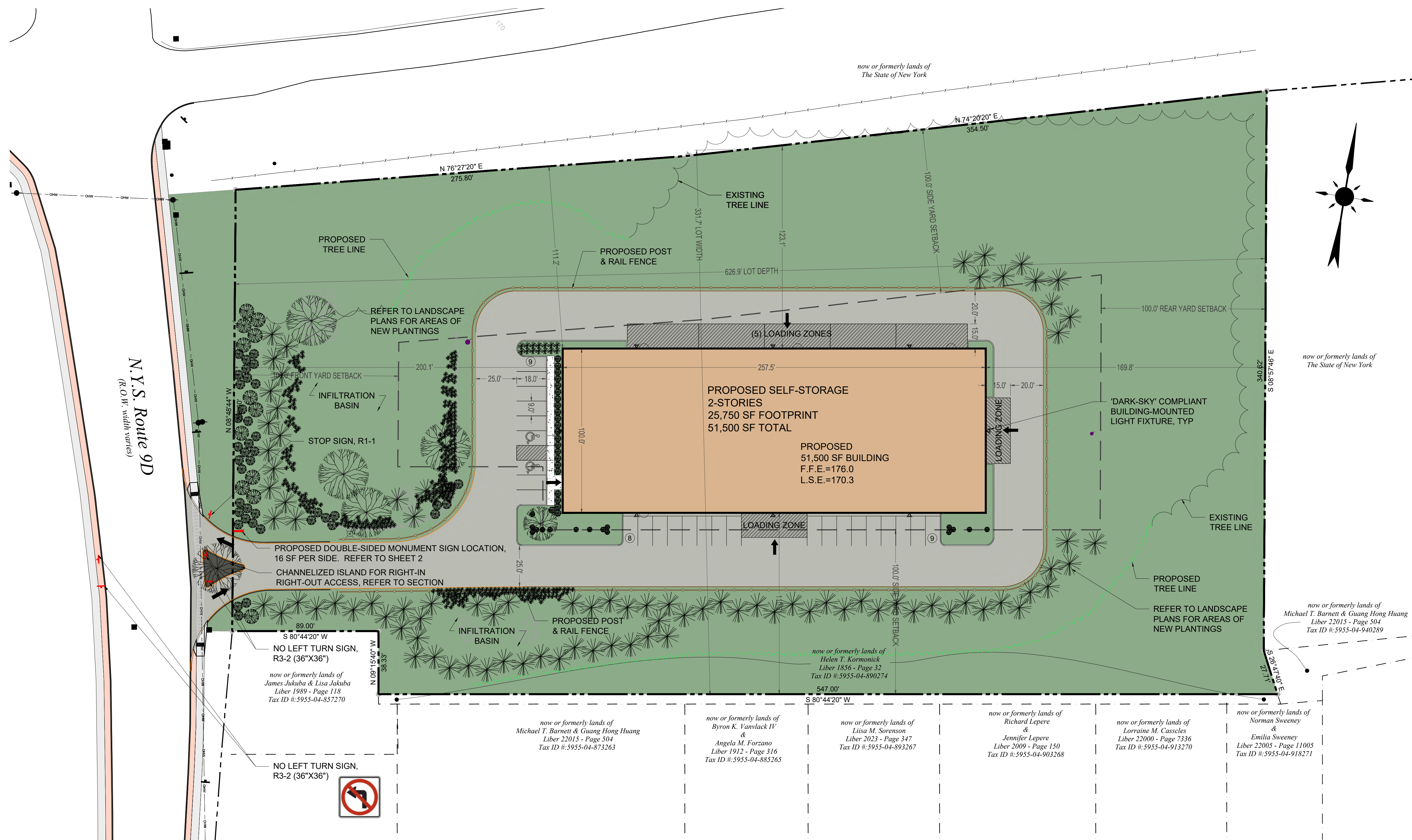


Site Plan Application

Sheet 1 of 17 - Cover Sheet

1292 Route 9D

Town of Fishkill, New York
Scale: 1" = 30'
March 30, 2022



Proposed Hours of Operation:
8:00 AM - 6:00 PM (7 Days / Week)

- WALL SIGNS (150-43.G.2.a)**
- 2 SIGNS MAXIMUM
 - COMBINED AGGREGATE AREA = 89.4 SF MAX
 - BUILDING'S LONGEST SIDE IS 257.5 FT, SO MAX SIGN IS 40 SF + 1 SF PER 5 LF OF BUILDING LENGTH GREATER THAN 100 FT
 - 25% SIGN BONUS IF THE BUILDING IS LOCATED GREATER THAN 150 FT FROM THE ROAD
- DOUBLE-SIDED MONUMENT SIGN (150-43.G.2.b)**
- 16 SF MAX PER SIDE
 - 6 FEET HIGH, MAX
- SIGNS FOR INTERNAL DIRECTION (150-43.G.2.c)**
- 2 SF MAX PER SIDE
- TREE CLEARING SHALL ONLY OCCUR BETWEEN OCTOBER 15th & MARCH 31st.

Proposed Area of Storage Space:
+/- 34,700 Square Feet

- Proposed Unit Mix:**
- 5x5 - 66
 - 5x10 - 98
 - 10x10 - 56
 - 10x15 - 41
 - 10x20 - 82

Unit mix to be finalized by the owner and design team during the construction document phase prior to submitting for a building permit.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/16/21	PLANNING BOARD SUBMISSION	AJS
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6	2/28/24	pDEIS SUBMISSION	AJS
7	6/26/24	pDEIS RESUBMISSION	AJS

Owner:
1292 Realty LLC
268 Main Street
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Lawrence J. Paggi, PE, PC
43 Broad Street
Fishkill, New York 12524

Landscape Architect:
The Michael Boice Collaboration
11 South Fowlerhouse Road
Wappinger Falls, New York 12590



Site Plan Application

Sheet 2 of 17 - Site Plan

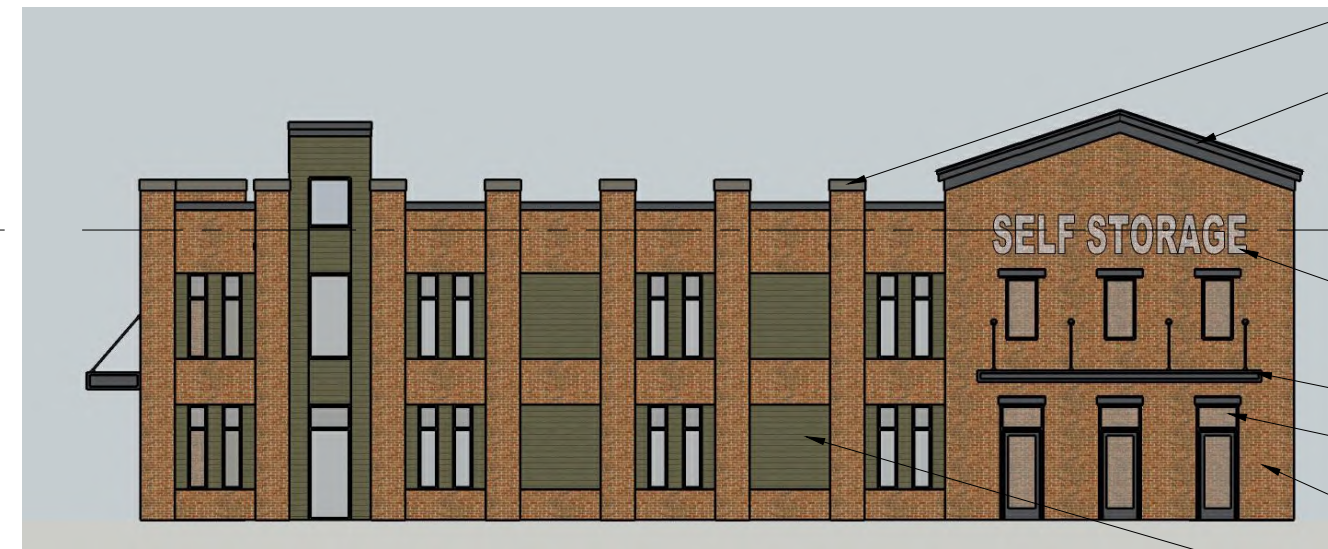
1292 Route 9D

Town of Fishkill, New York
Scale: 1" = 30'
March 30, 2022

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/16/21	PLANNING BOARD SUBMISSION	AJS
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6	2/28/24	pDEIS SUBMISSION	AJS
7	6/26/24	pDEIS RESUBMISSION	AJS



East Elevation
Not to Scale



West Elevation (Facing Rt. 9D)
Not to Scale

- PRECAST COPING. COLOR: WARM GRAY
- ALUMINUM COPING. COLOR: CHARCOAL GRAY
- ROOF DECK = 30'-0"
- 3'-4" X 22'-0" WALL SIGN (73 SF). PAINTED LETTERING OVER BRICK BACKGROUND
- PAINTED METAL CANOPY. COLOR: CHARCOAL GRAY
- ALUMINUM & GLASS STOREFRONT & WINDOWS. COLOR: CHARCOAL GRAY
- BRICK, 53DD MIX GLEN GERY OR APPROVED EQUAL
- HORIZONTAL FIBER CEMENT SIDING. 7" EXPOSURE. SMOOTH TEXTURE COLOR: MOUNTAIN SAGE JAMES HARDIE OR APPROVED EQUAL



South Elevation
Not to Scale



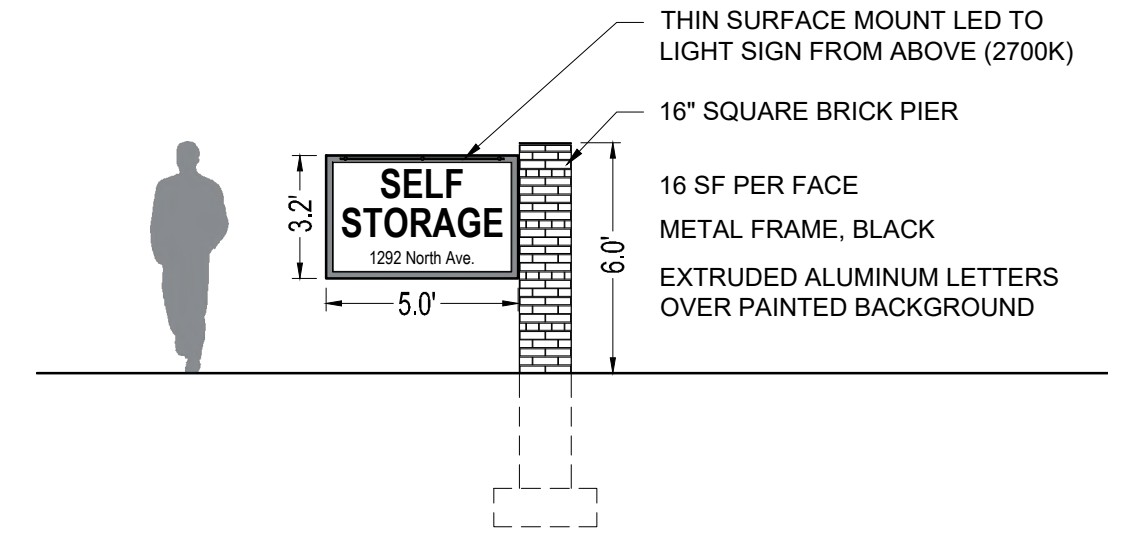
North Elevation
Not to Scale



View to the West (Rear & side of building)
Not to Scale



View along North Elevation looking West
Not to Scale



Entry Sign
Scale: 1" = 5'



View along West Elevation looking South
Not to Scale

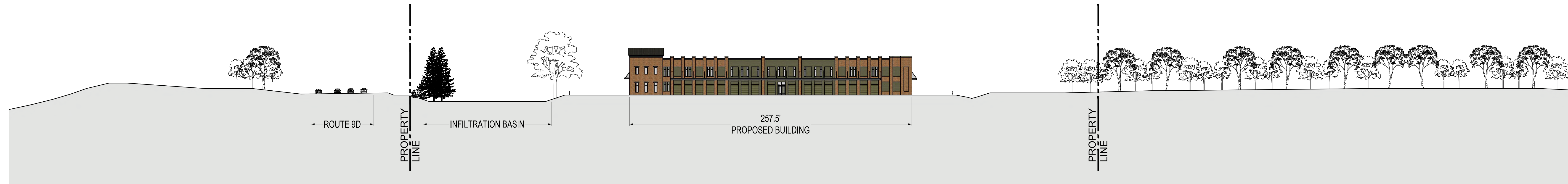


View from the entry drive looking East
Not to Scale

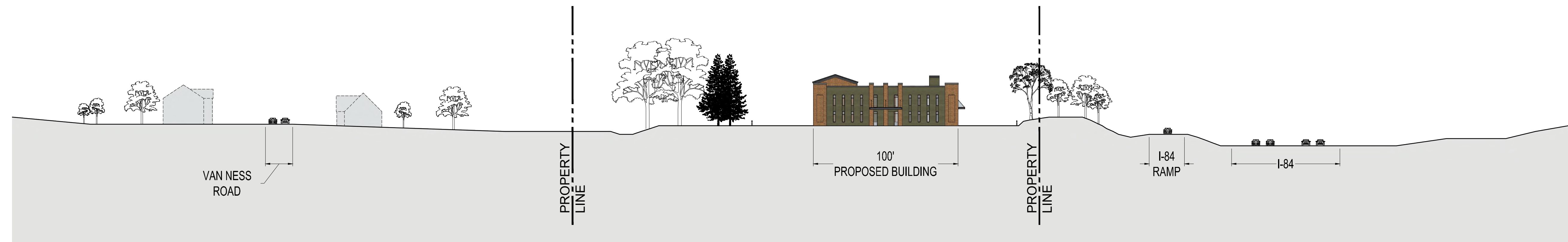
Site Plan Application

Sheet 3 of 17 - Building Elevations, Renderings & Details

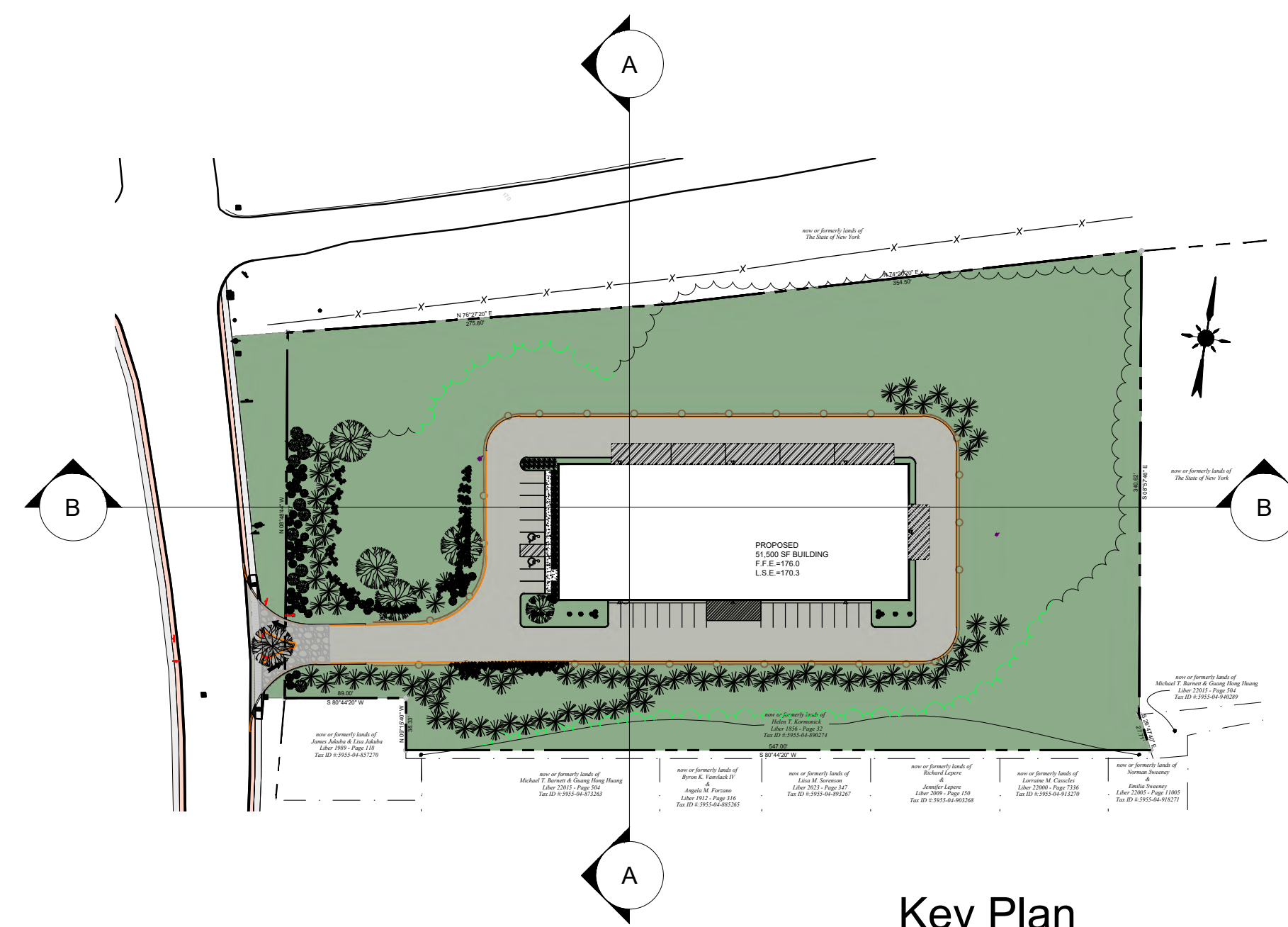




Site Section (B-B)
Scale: 1" = 40'



Site Section (A-A)
Scale: 1" = 40'



Key Plan
Not to Scale

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/16/21	PLANNING BOARD SUBMISSION	AJS
2	3/30/22	REVISED PER PLANNING BOARD COMMENTS	AJS
3	11/23/22	REVISED PER PLANNING BOARD COMMENTS	AJS
4	2/15/23	REVISED PER PLANNING BOARD COMMENTS	AJS
5	5/24/23	REVISED PER PLANNING BOARD COMMENTS	AJS
6	2/28/24	pDEIS SUBMISSION	AJS
7	6/26/24	pDEIS RESUBMISSION	AJS

Site Plan Application

Sheet 4 of 17 - Site Sections

1292 Route 9D

Town of Fishkill, New York
Scale: 1" = 40'
March 30, 2022

Owner:
1292 Realty LLC
268 Main Street
Beacon, New York 12508

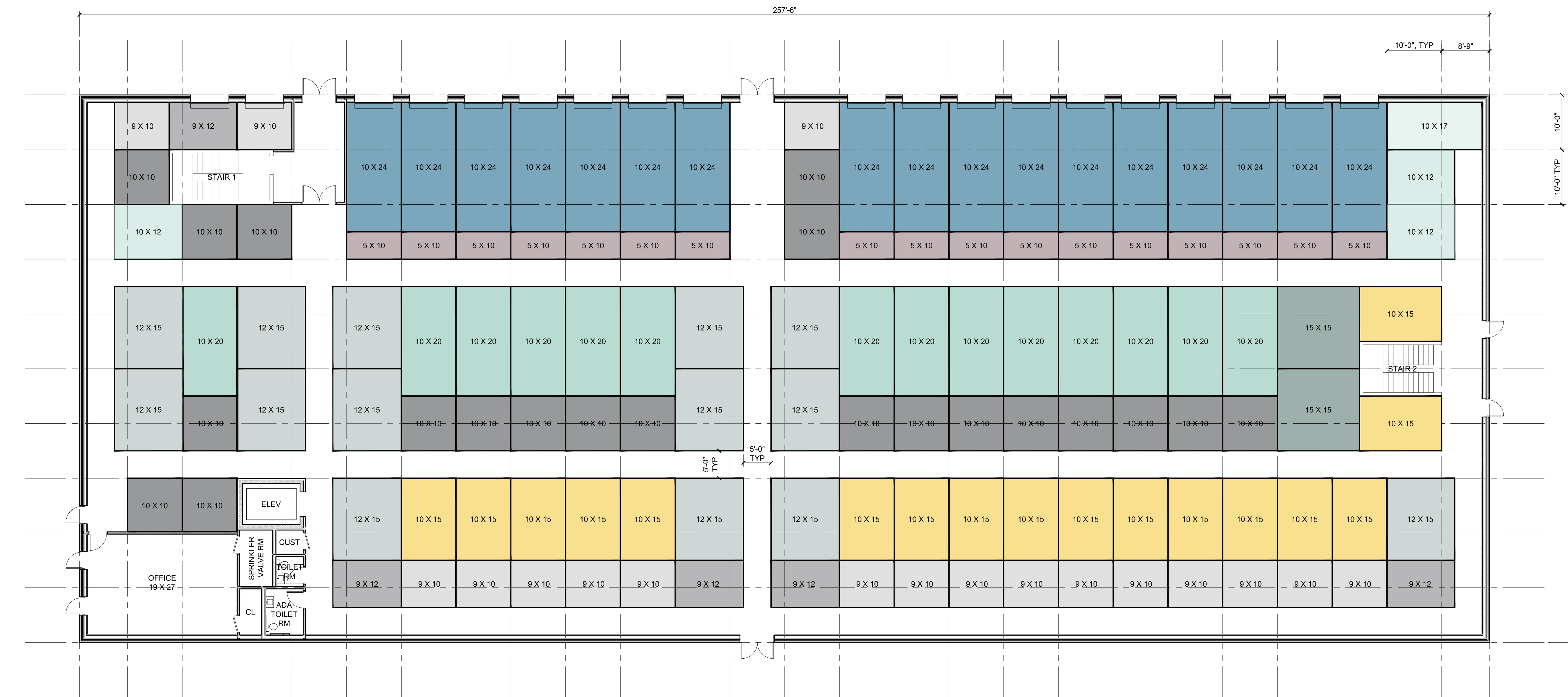
Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Lawrence J. Paggi, PE, PC
43 Broad Street
Fishkill, New York 12524

Landscape Architect:
The Michael Boice Collaboration
11 South Fowlerhouse Road
Wappinger Falls, New York 12590



Unit Mix				
Name	Qty	Unit SF	Total SF	Access Location
1st Floor				
5X10	17	50	850	Interior
9X10	17	90	1,530	
9X10	1	90	90	Exterior
10X10	21	100	2,100	Interior
9X12	4	108	432	Exterior
9X12	1	108	108	
10X12	3	120	360	Interior
10X15	17	150	2,550	
10X17	1	170	170	
12X15	14	180	2,520	
10X20	14	200	2,800	
15X15	2	225	450	
10X24	17	240	4,080	
2nd Floor				
4X6	4	24	96	Interior
5X5	62	25	1,550	
4X10	1	40	40	
5X9	8	45	360	
8X10	2	80	160	
9X10	15	90	1,350	
8X12	16	96	1,536	
10X10	18	100	1,800	
10X12	3	120	360	
8X15	14	120	1,680	
10X14	18	140	2,520	
10X15	43	150	6,450	
Unit Total:	333	Area Total:	35,942	



1st Floor Plan
Scale: 3/32" = 1'-0"

NOTE: FLOOR PLANS OF THE PROPOSED BUILDING DESIGN SHOWN HERE ARE A SCHEMATIC REPRESENTATION OF THE PROPOSED DESIGN OF THE BUILDING ONLY, AND ARE NOT INTENDED AS DETAILED REPRESENTATIONS OF THE FINAL DESIGN OR OF SITE CONDITIONS. CHANGES TO INTERIOR PARTITION PLACEMENT MAY OCCUR IN THE FINAL CONSTRUCTION DOCUMENTS TO SUIT TENANT LAYOUT AND BUILDING CODE REQUIREMENTS.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
7	6/26/24	pDEIS RESUBMISSION	AJS

Site Plan Application

Sheet 5 of 17 - 1st Floor Plan

1292 Route 9D
Town of Fishkill, New York
Scale: 1" = 40'
June 13, 2024



Unit Mix				
Name	Qty	Unit SF	Total SF	Access Location
1st Floor				
5X10	17	50	850	Interior
9X10	17	90	1,530	
9X10	1	90	90	Exterior
10X10	21	100	2,100	Interior
9X12	4	108	432	
9X12	1	108	108	Exterior
10X12	3	120	360	Interior
10X15	17	150	2,550	
10X17	1	170	170	
12X15	14	180	2,520	
10X20	14	200	2,800	
15X15	2	225	450	
10X24	17	240	4,080	Exterior
2nd Floor				
4X6	4	24	96	Interior
5X5	62	25	1,550	
4X10	1	40	40	
5X9	8	45	360	
8X10	2	80	160	
9X10	15	90	1,350	
8X12	16	96	1,536	
10X10	18	100	1,800	
10X12	3	120	360	
8X15	14	120	1,680	
10X14	18	140	2,520	
10X15	43	150	6,450	
Unit Total:	333	Area Total:	35,942	

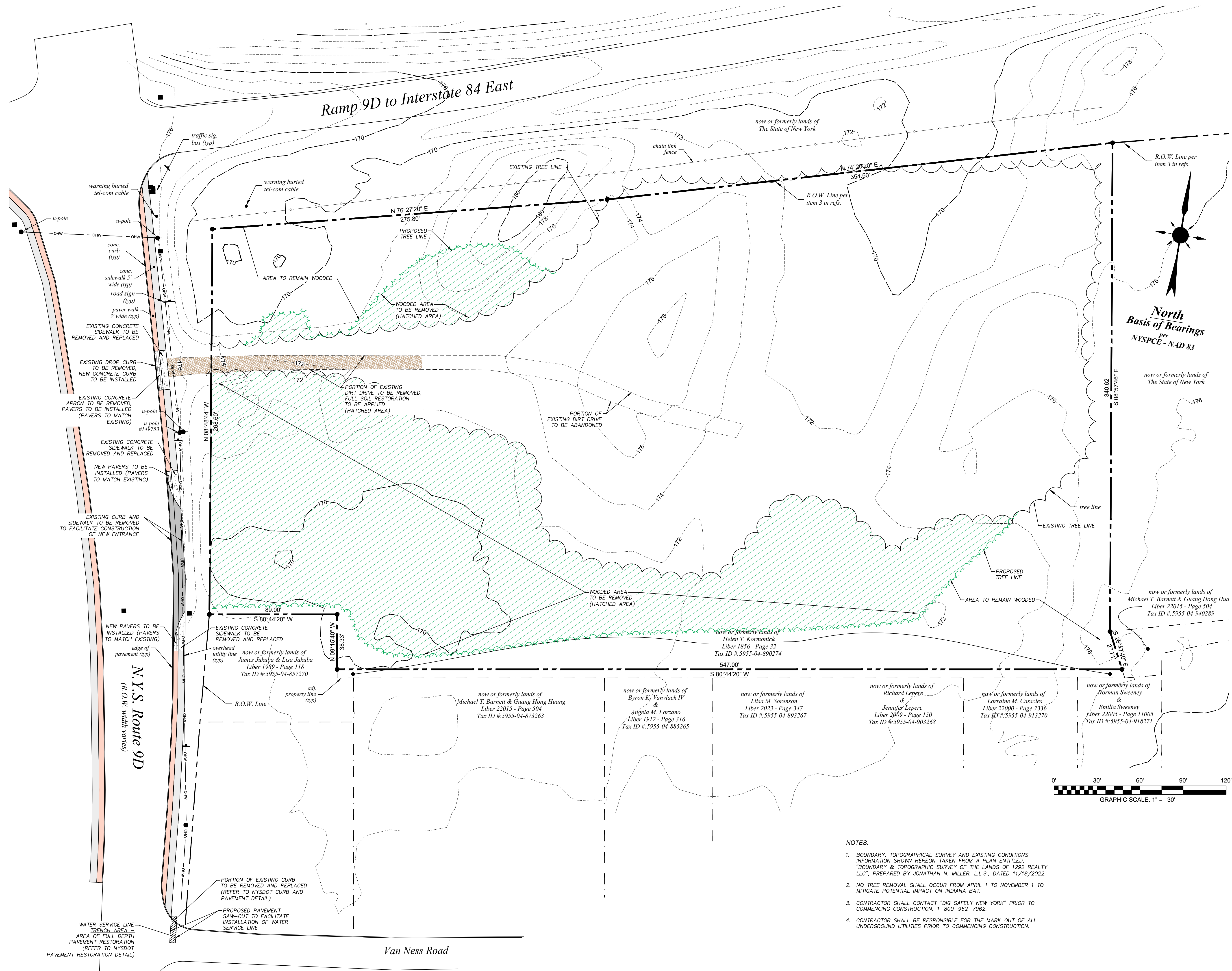


2nd Floor Plan
Scale: 3/32" = 1'-0"

NOTE: FLOOR PLANS OF THE PROPOSED BUILDING DESIGN SHOWN HERE ARE A SCHEMATIC REPRESENTATION OF THE PROPOSED DESIGN OF THE BUILDING ONLY, AND ARE NOT INTENDED AS DETAILED REPRESENTATIONS OF THE FINAL DESIGN OR OF SITE CONDITIONS. CHANGES TO INTERIOR PARTITION PLACEMENT MAY OCCUR IN THE FINAL CONSTRUCTION DOCUMENTS TO SUIT TENANT LAYOUT AND BUILDING CODE REQUIREMENTS.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
7	6/26/24	pDEIS RESUBMISSION	AJS





- NOTES:**
- BOUNDARY, TOPOGRAPHICAL SURVEY AND EXISTING CONDITIONS INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF 1292 REALTY LLC", PREPARED BY JONATHAN N. MILLER, L.L.S., DATED 11/18/2022.
 - NO TREE REMOVAL SHALL OCCUR FROM APRIL 1 TO NOVEMBER 1 TO MITIGATE POTENTIAL IMPACT ON INDIANA BAT.
 - CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" PRIOR TO COMMENCING CONSTRUCTION. 1-800-962-7962.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE MARK OUT OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

NO.	REVISION	BY	DATE
1.	REVISED PER 3-6-23 COMMENT LETTER	LJP	5/24/23
2.			
3.			
4.			
5.			
6.			

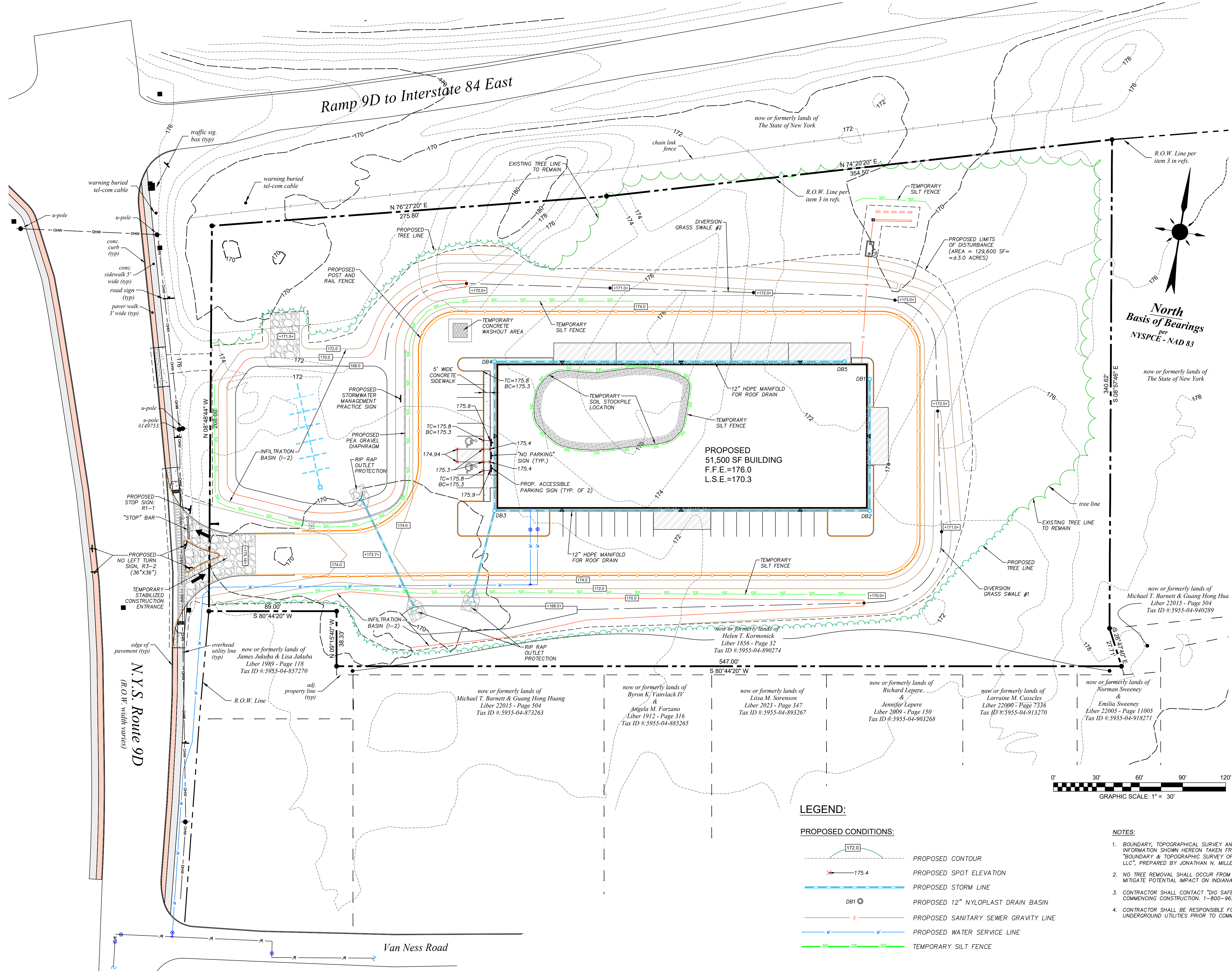
LAWRENCE J. PAGGI, PE, PC
CONSULTING ENGINEERING
 43 BROAD STREET
 FISHKILL, NEW YORK 12524
 TELEPHONE: (845) 897-2375



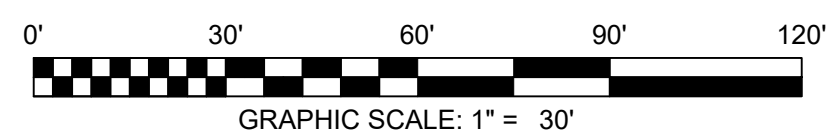
FISHKILL SELF STORAGE FACILITY
 1292 ROUTE 9D, TOWN OF FISHKILL
 DUTCHESS COUNTY, NEW YORK
 EXISTING CONDITIONS, DEMOLITION PLAN

DRAWN:
 CHECKED: **LJP**
 DATE: **DECEMBER 14, 2022**
 SCALE: **1" = 30'**
 JOB NUMBER: **22-12**

SHEET #
C1
 SHEET 1 OF 9



North
Basis of Bearings
per
NYS PCE - NAD 83



LEGEND:

- PROPOSED CONDITIONS:**
- PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED STORM LINE
 - PROPOSED 12" NYLOPLAST DRAIN BASIN
 - PROPOSED SANITARY SEWER GRAVITY LINE
 - PROPOSED WATER SERVICE LINE
 - PROPOSED TEMPORARY SILT FENCE

NOTES:

1. BOUNDARY, TOPOGRAPHICAL SURVEY AND EXISTING CONDITIONS INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF 1292 REALTY LLC", PREPARED BY JONATHAN N. MILLER, L.L.S., DATED 11/18/2022.
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3. CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" PRIOR TO COMMENCING CONSTRUCTION. 1-800-962-7962.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MARK OUT OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

NO.	REVISION	BY	DATE
1.	REVISED PER 3-8-23 COMMENT LETTER		5/24/23
2.	DEIS RESPONSES		01/30/24
3.			
4.			
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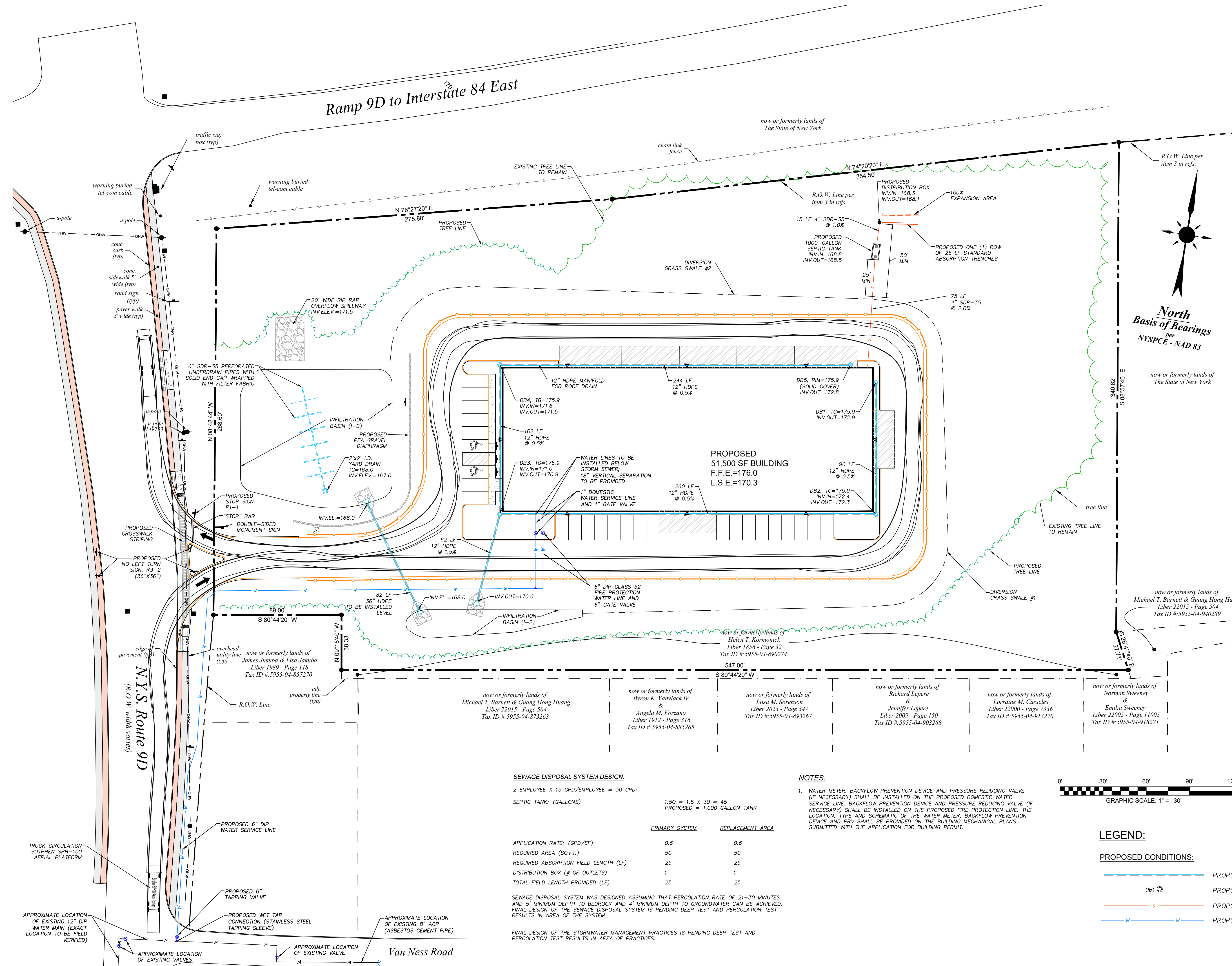
LAWRENCE J. PAGGI, PE, PC
 CONSULTING ENGINEERING
 43 BROAD STREET
 FISHKILL, NEW YORK 12524
 TELEPHONE: (845) 897-2375



FISHKILL SELF STORAGE FACILITY
 1292 ROUTE 9D, TOWN OF FISHKILL
 DUTCHESS COUNTY, NEW YORK
 GRADING, EROSION AND SEDIMENT CONTROL PLAN

DRAWN:
 CHECKED: **LJP**
 DATE: **DECEMBER 14, 2022**
 SCALE: **1" = 30'**
 JOB NUMBER: **22-12**

SHEET #
C2
 SHEET 2 OF 9



SEWAGE DISPOSAL SYSTEM DESIGN:

2 EMPLOYEE X 15 GPD/EMPLOYEE = 30 GPD;
 SEPTIC TANK: (GALLONS) 1.50 = 1.5 X 30 = 45
 PROPOSED = 1,000 GALLON TANK

	PRIMARY SYSTEM	REPLACEMENT AREA
APPLICATION RATE: (GPD/SF)	0.6	0.6
REQUIRED AREA (SQ.FT.)	50	50
REQUIRED ABSORPTION FIELD LENGTH (LF)	25	25
DISTRIBUTION BOX (# OF OUTLETS)	1	1
TOTAL FIELD LENGTH PROVIDED (LF)	25	25

SEWAGE DISPOSAL SYSTEM WAS DESIGNED ASSUMING THAT PERCOLATION RATE OF 21-30 MINUTES AND 5' MINIMUM DEPTH TO BEDROCK AND 4' MINIMUM DEPTH TO GROUNDWATER CAN BE ACHIEVED. FINAL DESIGN OF THE SEWAGE DISPOSAL SYSTEM IS PENDING DEEP TEST AND PERCOLATION TEST RESULTS IN AREA OF THE SYSTEM.

FINAL DESIGN OF THE STORMWATER MANAGEMENT PRACTICES IS PENDING DEEP TEST AND PERCOLATION TEST RESULTS IN AREA OF PRACTICES.

NOTES:

- WATER METER, BACKFLOW PREVENTION DEVICE AND PRESSURE REDUCING VALVE (IF NECESSARY) SHALL BE INSTALLED ON THE PROPOSED DOMESTIC WATER SERVICE LINE. BACKFLOW PREVENTION DEVICE AND PRESSURE REDUCING VALVE (IF NECESSARY) SHALL BE INSTALLED ON THE PROPOSED FIRE PROTECTION WATER LINE. THE LOCATION, TYPE AND SCHEMATIC OF THE WATER METER, BACKFLOW PREVENTION DEVICE AND PRV SHALL BE PROVIDED ON THE BUILDING MECHANICAL PLANS SUBMITTED WITH THE APPLICATION FOR BUILDING PERMIT.



LEGEND:

- PROPOSED CONDITIONS:**
- PROPOSED STORM LINE
 - PROPOSED 12" NYLOPLAST DRAIN BASIN
 - PROPOSED SANITARY SEWER GRAVITY LINE
 - PROPOSED WATER SERVICE LINE

NO.	REVISION	BY	DATE
1.	REVISED PER 3-6-23 COMMENT LETTER	LJP	5/24/23
2.	DBIS RESPONSES		01/30/24
3.			
4.			
5.			
6.			

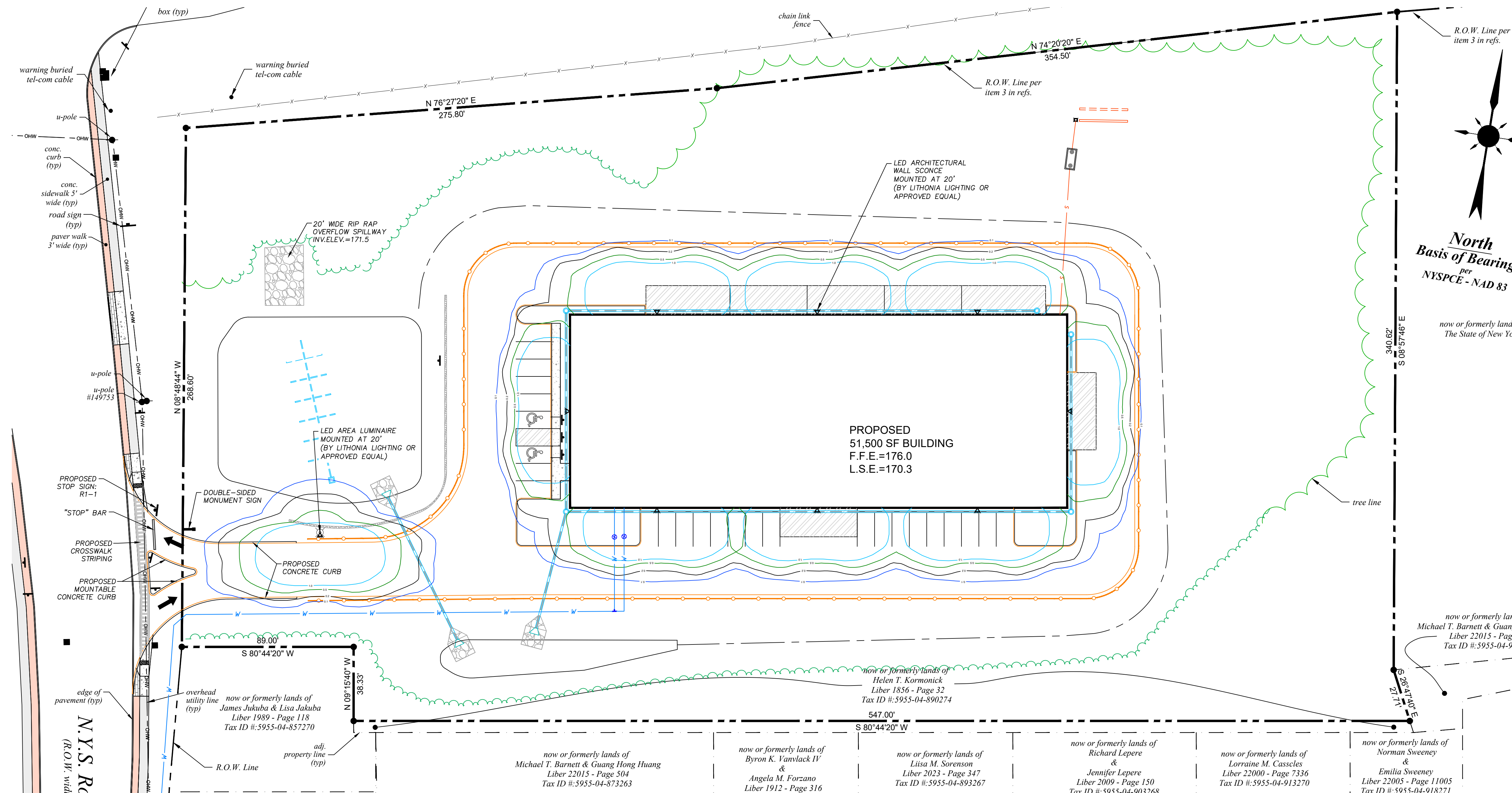
LAWRENCE J. PAGGI, PE, PC
 CONSULTING ENGINEERING
 43 BROAD STREET
 FISHKILL, NEW YORK 12524
 TELEPHONE: (845) 897-2375



FISHKILL SELF STORAGE FACILITY
 1292 ROUTE 9D, TOWN OF FISHKILL
 DUTCHESS COUNTY, NEW YORK
UTILITY PLAN

DRAWN:
 CHECKED:
LJP
 DATE:
DECEMBER 14, 2022
 SCALE:
1" = 30'
 JOB NUMBER:
22-12

SHEET #
C3
 SHEET 3 OF 9



PROPOSED CONDITIONS:

	NEW TREE LINE
	0.1 FOOT-CANDLE PHOTOMETRIC LINE
	0.2 FOOT-CANDLE PHOTOMETRIC LINE
	0.5 FOOT-CANDLE PHOTOMETRIC LINE
	1.0 FOOT-CANDLE PHOTOMETRIC LINE

NO.	REVISION	DATE
1.	REVISED PER 3-6-23 COMMENT LETTER	5/24/23
2.	DEIS RESPONSES	01/30/24
3.		
4.		
5.		
6.		

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FISHKILL SELF STORAGE FACILITY
 1292 ROUTE 9D, TOWN OF FISHKILL
 DUTCHESS COUNTY, NEW YORK
 LIGHTING PLAN

WDGE3 LED Architectural Wall Sconce

Specifications
 Depth (D1): 8"
 Depth (D2): 1.5"
 Height: 9"
 Width: 18"
 Weight (without options): 19.5 lbs

WDGE LED Family Overview

Luminaire	Standard EN, 0°C	GM EN, -20°C	Sensor	I1	I2	I3	I4	I5	I6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / night	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / night	2,500	4,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / night	12,000	16,000	18,000	20,000	22,000	25,000

RSX1 LED Area Luminaire

Specifications
 EPA (ft²@90°): 0.57 ft² (0.05 m²)
 Length: 21.8" (55.4 cm) (SPA mount)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.4 cm) Arm
 Weight (SPA mount): 22.0 lbs (10.0 kg)

Introduction
 The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

Square Straight Steel Poles – QUICK SHIP

TECHNICAL INFORMATION — EPA (ft²) with 1.3 gust

Catalog Number	Nominal Shaft Length (ft)	Pole Shaft Size (Base in. x Top in. x ft)	Wall thick (in)	Gauge	EPA (ft²) with 1.3 gust				Bolt circle (in)	Bolt size (in. x in. x in.)	Approximate ship weight (lbs)		
					80 MPH Max. weight	90 MPH Max. weight	100 MPH Max. weight	110 MPH Max. weight					
SS505254C	25	4.0x2.0	0.1196	11	4.8	150	2.6	100	1	50	8-9	3/4x18x3	170

BASE DETAIL

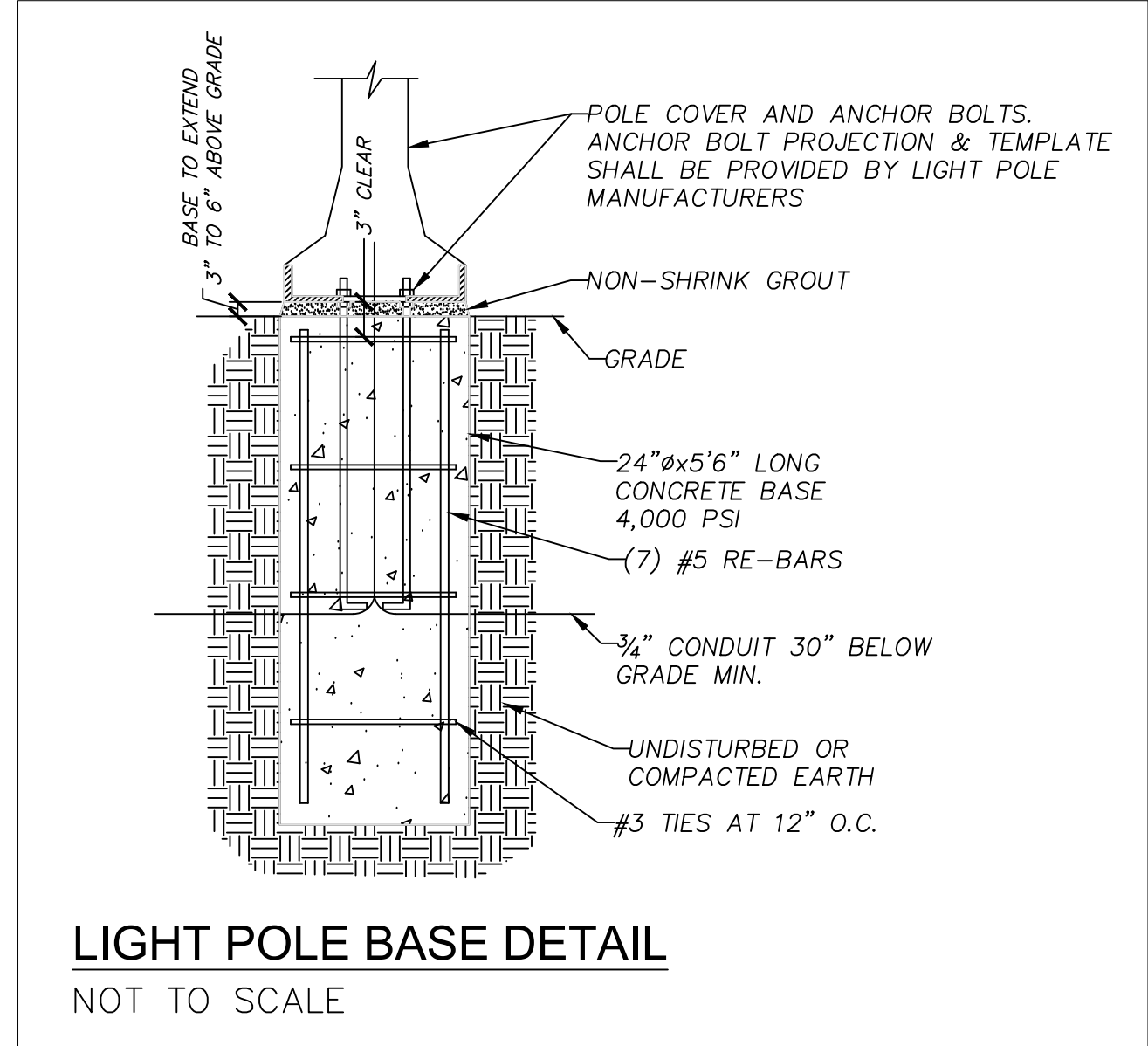
POLE DATA

Shaft base size	Bolt circle A	Bolt projection B	Base diameter C	Base plate thickness	Anchor bolt and template number	Anchor bolt description
4" C	8" - 9"	3.25" - 3.75"	8" - 8.25"	0.75"	ABSS5-4C	3/4"x18"x3"
4" G	8" - 9"	3.38" - 3.75"	8" - 8.25"	0.875"	ABSS5-4G	3/4"x20"x3"
5"	10" - 12"	3.5" - 4"	11"	1"	ABSS5-5	1"x36"x4"

HANDHOLE ORIENTATION

IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchor placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.
- Bolt circles have +/- 1/16" tolerance.



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	Watts
	A	1	RSX1 LED P1 30K R2	LED AREA LUMINAIRE (LITHONIA LIGHTING) ACCESSORIES: EXTERNAL GLARE SHIELD	LED	6,482	51
	B	8	WDGE3 LED P3 30K R2	LED ARCHITECTURAL WALL SCONCE (LITHONIA LIGHTING)	LED	7,037	52

DRAWN:
 CHECKED: LJP
 DATE: DECEMBER 14, 2022
 SCALE: 1" = 30'
 JOB NUMBER: 22-12
 SHEET # C4
 SHEET 4 OF 9

EROSION AND SEDIMENT CONTROL SEQUENCING SCHEDULE:

THE TOTAL AREA OF DISTURBANCE IS APPROXIMATELY 3.0 ACRE.

- CONSTRUCTION ACTIVITIES MAY BEGIN 5 DAYS AFTER RECEIPT OF COMPLETED NOI AND MS4 SWPPP ACCEPTANCE FORM POSTED BY THE NYSDEC.
- CONDUCT PRECONSTRUCTION CONFERENCE AT THE PROJECT LOCATION WITH THE OPERATOR AND THE PROJECT ENGINEER TO REVIEW THE REQUIREMENTS OF GP-0-20-001, INCLUDING POSTING OF THE REQUIRED DOCUMENTATION AND LOCATION WHERE THE SWPPP WILL BE MAINTAINED ON SITE.
- A CERTIFIED PROFESSIONAL WITH EXPERIENCE DESIGNING EROSION AND SEDIMENT CONTROLS SHALL MONITOR THE SITE TO DETERMINE THAT THE PROPER EROSION AND SEDIMENT CONTROLS ARE PROPERLY MAINTAINED IN ACCORDANCE WITH DEC PERMIT.
- WEEKLY INSPECTIONS SHALL BE MADE FOR COMPLIANCE OF THE SWPPP, AND REPORTS ISSUED TO THE TOWN AS REQUIRED BY GP-0-20-001.
- STABILIZE ENTRANCE TO THE PROJECT SITE BY INSTALLING STONE PER THE CONSTRUCTION ACCESS DETAIL. STABILIZE ADJACENT DISTURBED SOIL AREAS WITH VEGETATION.
- DUST ON SITE SHALL BE MINIMIZED BY SPRAYING WATER ON DRY AREAS OF THE SITE. IF THE MAJORITY OF MUD OR DIRT IS NOT REMOVED FROM EXITING TRAFFIC, HOSE BIBS SHALL BE PROVIDED AT CONSTRUCTION TRAFFIC POINTS AND VEHICLE TIRES SHALL BE WASHED BEFORE EXITING ON PUBLIC ROADS. SILT FROM THIS WASHING OPERATION SHALL BE INTERCEPTED AND TRAPPED BEFORE WASH WATER IS ALLOWED TO BE DISCHARGED OFFSITE. THE USE OF OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS PROHIBITED.
- INSTALL SILT FENCE ALONG THE DOWNHILL PERIMETER OF PLANNED LAND DISTURBANCE IN THE LOCATIONS INDICATED ON THE GRADING AND EROSION AND SEDIMENT CONTROL PLAN.
- COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED. STABILIZE HARDCAPE AREAS BY INSTALLING ITEM 4 BASE COURSE. VEGETATE DISTURBED SOIL AREAS NOT TO BE SUBJECT TO ADDITIONAL DISTURBANCE WITHIN 14 DAYS.
- SILT FENCE SHOULD BE INSTALLED AROUND ANY TEMPORARY SOIL STOCKPILES OR GRAVEL BAGS IF SOIL STOCKPILES INSTALLED ON IMPERVIOUS SURFACE. IF THESE STOCKPILES ARE NOT TO BE USED WITHIN 14 DAYS THEY SHOULD BE TEMPORARILY SEEDED AND MULCHED.
- EXCAVATE AREAS FOR INFILTRATION BASINS. ALL AREAS WHICH DRAIN TO INFILTRATION BASINS SHALL BE COMPLETELY STABILIZED BEFORE INFILTRATION BASINS CONSTRUCTION IS COMPLETED. INFILTRATION BASIN CONSTRUCTION IS TO BE INITIATED DURING A PERIOD WHEN NO PRECIPITATION IS IN FORECAST WITH SUFFICIENT DURATION TO COMPLETE INSTALLATION OF THESE ITEMS. INSTALL SILT FENCE UPSTREAM OF THE PROPOSED INFILTRATION BASIN IN THE LOCATION SHOWN ON GRADING AND EROSION AND SEDIMENT CONTROL PLAN.
- BUILDING CONSTRUCTION MAY COMMENCE AFTER ABOVE OUTLINED WORK IS COMPLETED. INSTALL PROPOSED UTILITIES BELOW PADDED AREAS TO THE BUILDING. VEGETATE DISTURBED SOIL AREAS NOT TO BE SUBJECT TO ADDITIONAL DISTURBANCE WITHIN 14 DAYS.
- UPON COMPLETION OF THE BUILDING FOOTING/FOUNDATION AND SITE UTILITIES, CONSTRUCT PROPOSED CURBING. INSTALL ASPHALT BINDER TO WITHIN 20 FEET OF PROPOSED BUILDING AND STABILIZE AREAS NOT TO BE SUBJECT TO ADDITIONAL DISTURBANCE WITHIN 14 DAYS.
- UPON COMPLETION OF BUILDING EXTERIOR, INSTALL THE BALANCE OF THE BINDER AND INSTALL FINAL PAVEMENT.
- PRIOR TO FINALIZING CONSTRUCTION OF INFILTRATION BASIN ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
- ALL EROSION CONTROL MEASURES EMPLOYED DURING CONSTRUCTION SHALL COMPLY WITH THE STANDARDS FOUND IN NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- ALL DISTURBED AREAS WHICH ARE TO BE LANDSCAPED SHALL BE IMMEDIATELY STABILIZED BY SEEDING AND MULCHING USING PERMANENT SEEDING PROCEDURE. SLOPES EQUAL TO OR STEEPER THAN 3H:1V SHALL BE STABILIZED WITH NORTH AMERICAN GREEN "C125" DOUBLE NET EROSION CONTROL BLANKET (INSTALL PER MANUFACTURER'S RECOMMENDATIONS).
- FULL SOIL RESTORATION SHALL BE APPLIED IN ALL DISTURBED IMPERVIOUS AREAS THAT PROPOSED TO HAVE PERVIOUS COVER IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL.
- UPON COMPLETION OF ALL SITE CONSTRUCTION AND ONCE FINAL SITE STABILIZATION IS ACHIEVED FOR 80% OF THE DISTURBED SOIL SURFACE ALL SEDIMENT BARRIERS ARE TO BE REMOVED. ANY AREAS DISTURBED BY THESE REMOVAL OPERATIONS SHALL BE IMMEDIATELY SEEDED AND MULCHED IN CONFORMANCE WITH THE PERMANENT SEEDING PROCEDURES.
- REMOVE TEMPORARY CONSTRUCTION ACCESS ONLY PRIOR TO FINAL STABILIZATION IN THIS AREA.

EROSION CONTROL MAINTENANCE PLAN - DURING CONSTRUCTION:

PERMANENT AND TEMPORARY VEGETATION:

INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RUNOFF--PRODUCING RAINFALL. ANY VEGETATED AREA THAT HAS ERODED AS A RESULT OF RUNOFF SHALL BE FERTILIZED, RESEEDED AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

STABILIZED CONSTRUCTION ENTRANCE:

INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RUNOFF--PRODUCING RAINFALL. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

SILT FENCE:

INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RUNOFF--PRODUCING RAINFALL. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:

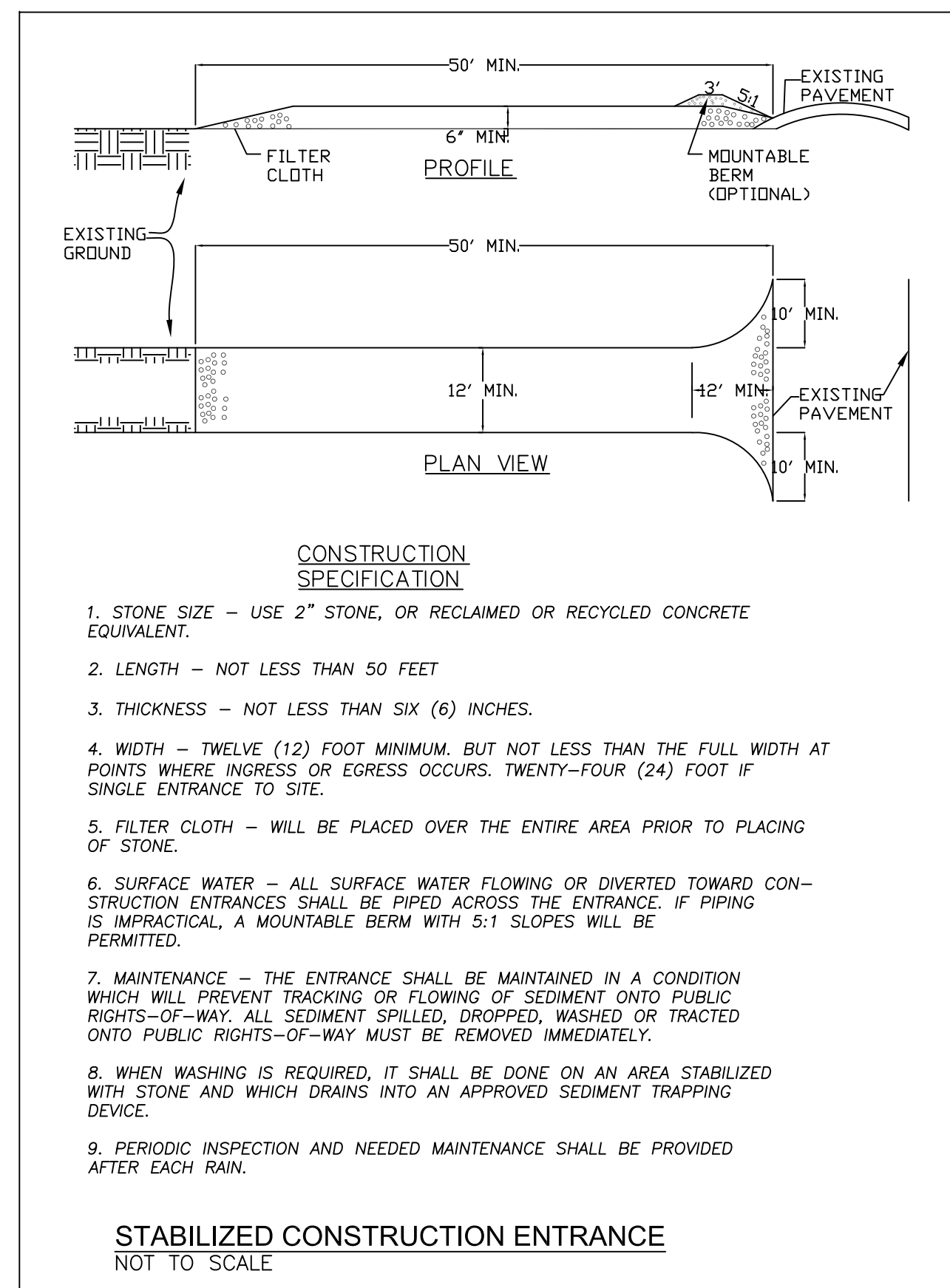
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RUNOFF--PRODUCING RAINFALL. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:

SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

CONCRETE WASHOUT:

CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIR OR REPLACED IMMEDIATELY. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE FILLED. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

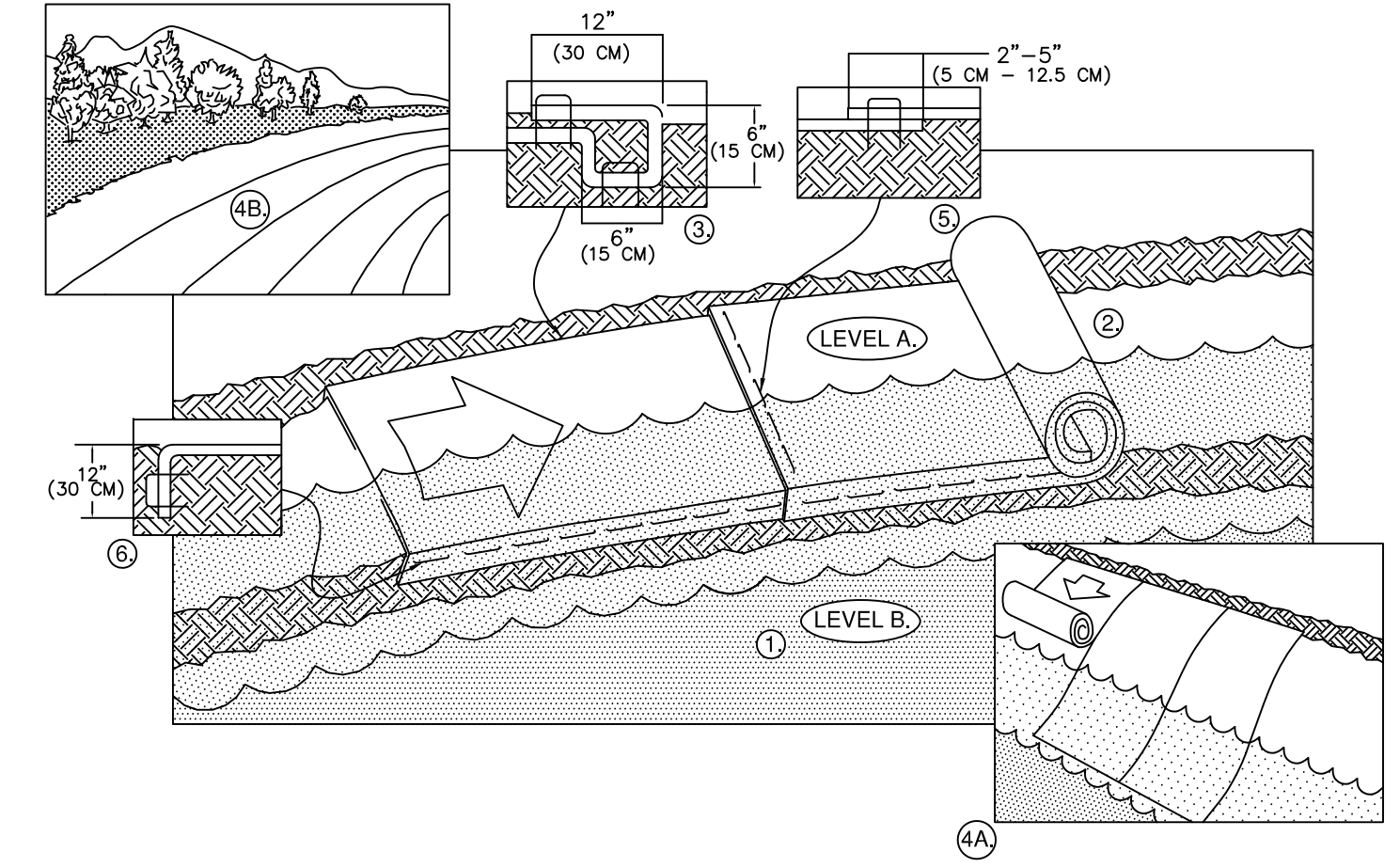
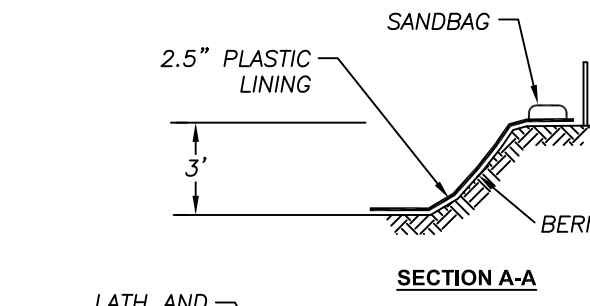
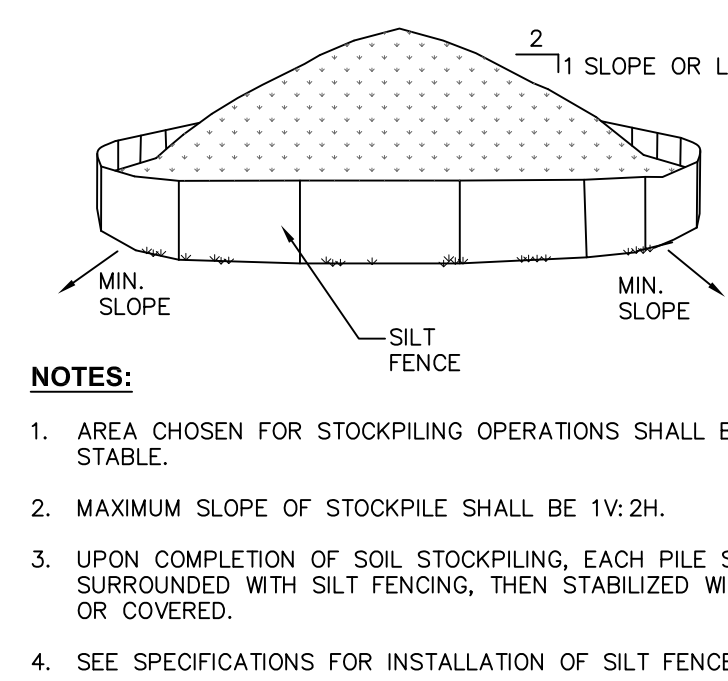
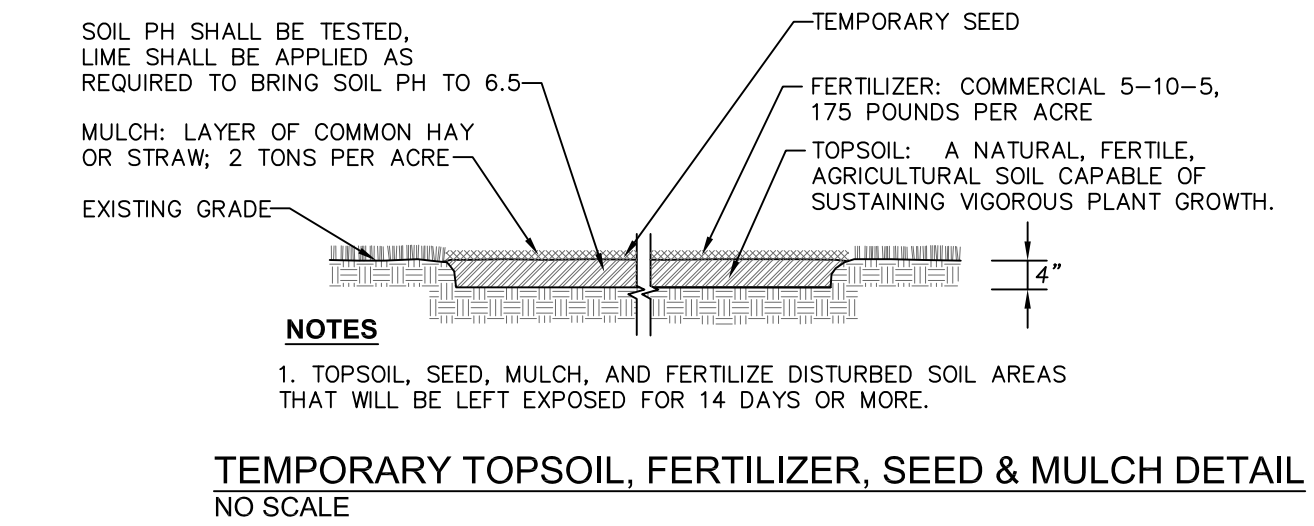
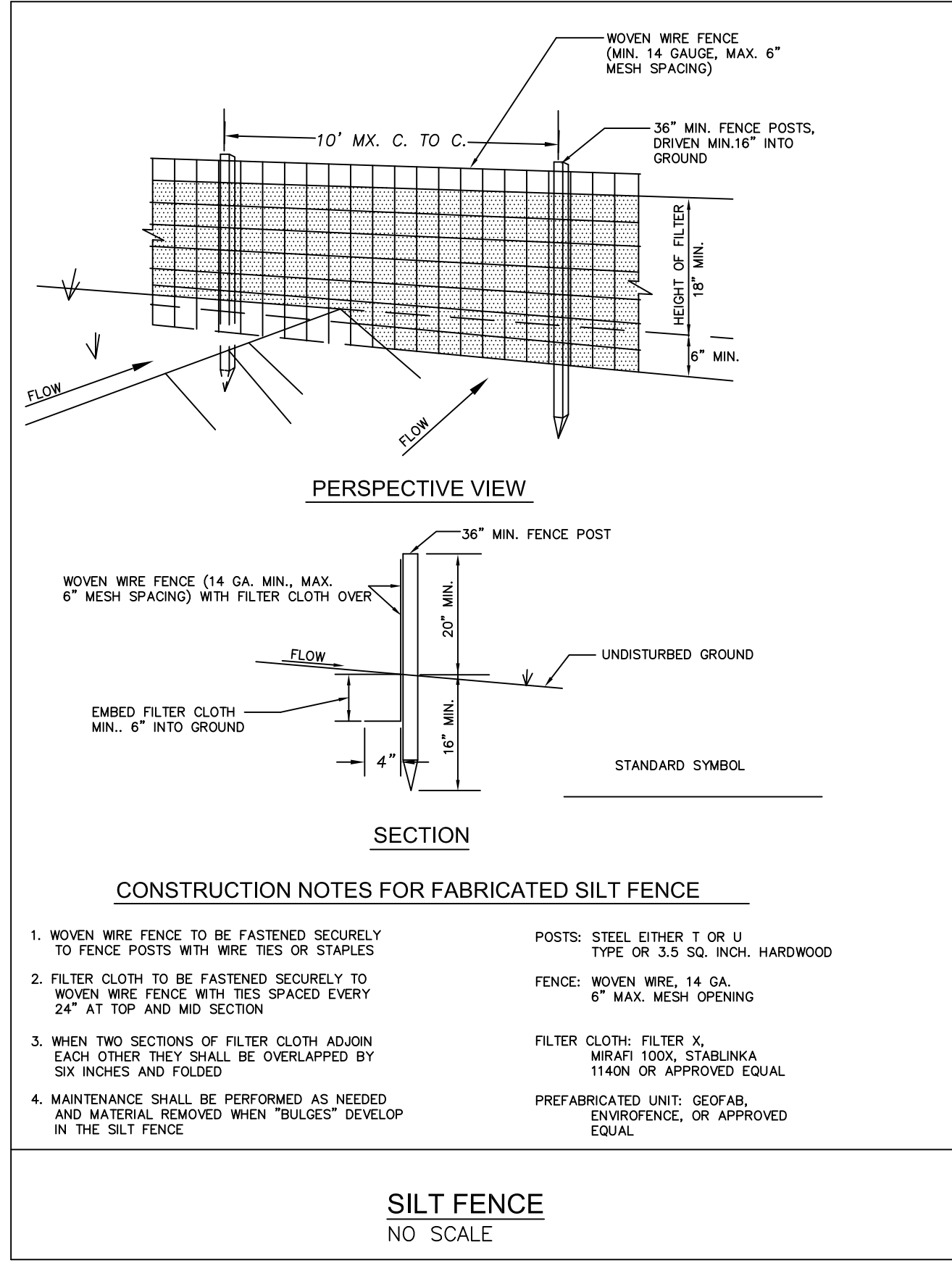


POST-CONSTRUCTION MAINTENANCE SCHEDULE

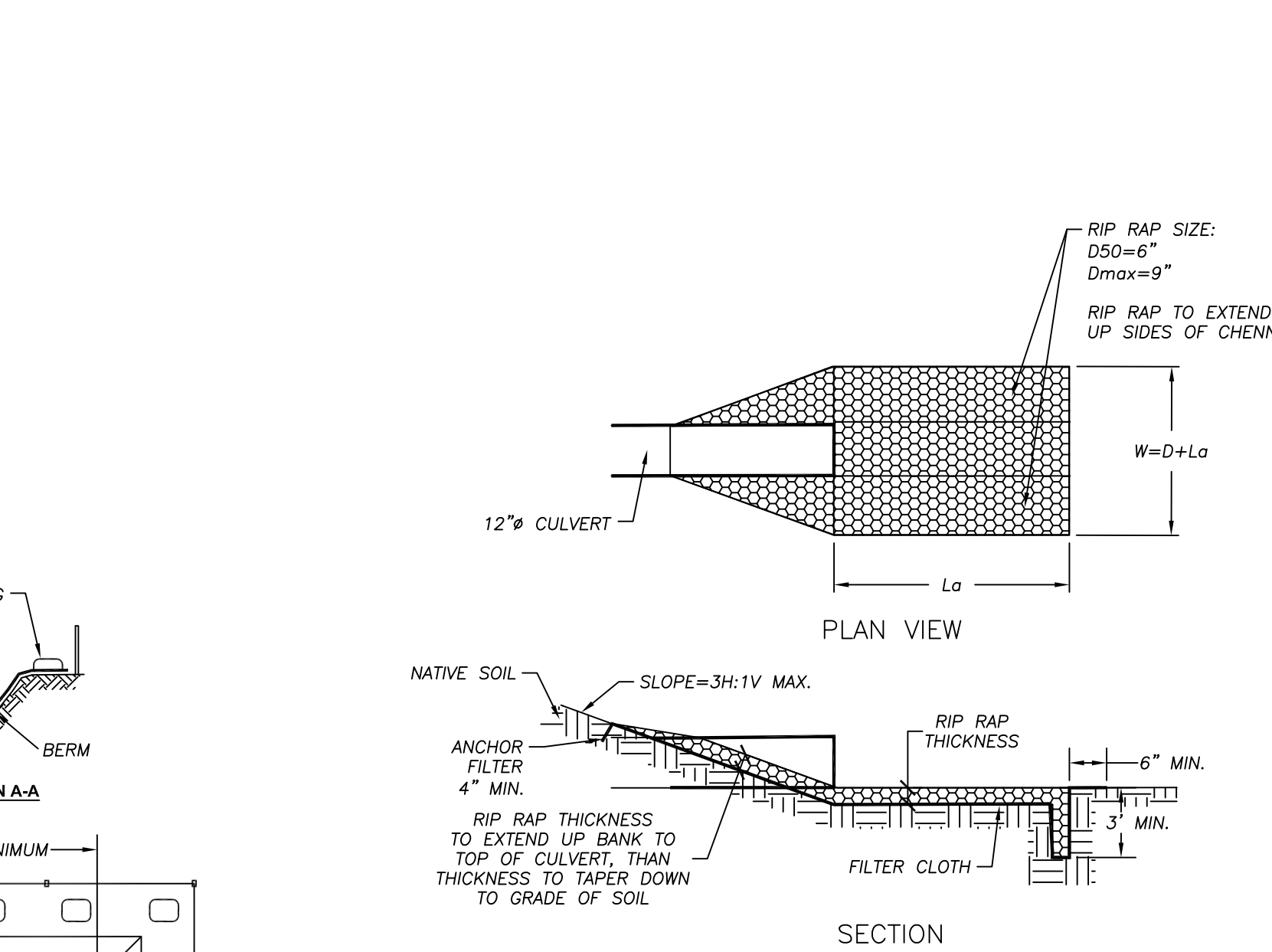
- CATCH BASINS** - CATCH BASINS SHOULD BE INSPECTED ANNUALLY AND AFTER MAJOR STORM EVENTS (e.g., AFTER EACH EVENT WHERE 3 INCHES OF RAINFALL IS EXCEEDED IN A 24-HOUR PERIOD). DEBRIS AND EACH EVENT WHERE 3 INCHES OF RAINFALL IS EXCEEDED IN A 24-HOUR PERIOD). DEBRIS AND LITTER SHOULD BE REMOVED FROM THE BASINS DURING THESE INSPECTIONS. SEDIMENT WILL HAVE TO BE REMOVED FROM THE BASINS EITHER MANUALLY OR BY VACUUM TRUCK WHEN 10% OF THE AVAILABLE CAPACITY HAS BEEN USED (e.g., FOR 12" SUMP, WHEN THE DEPTH OF SEDIMENT EXCEEDS 1.2'). IN ADDITION, THE STRUCTURES SHOULD BE REPAIRED AND/OR REPLACED ON AN AS-NEEDED BASIS.
- INFILTRATION BASIN** - VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR SHALL BE MAINTAINED IN DENSE AND VIGOROUS GROWING CONDITION FOR THE PERIOD OF 1 YEAR AFTER CONSTRUCTION HAS BEEN COMPLETED. IF A MINIMUM COVERAGE OF 50% IS NOT ACHIEVED AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING IS REQUIRED.
- MAINTENANCE OF THE INFILTRATION BASIN SHALL BE IN ACCORDANCE WITH APPENDIX G OF THE NEW YORK STATE STORM WATER MANAGEMENT DESIGN MANUAL.

PERMANENT SEEDING PROCEDURE FOR AREAS DISTURBED DURING CONSTRUCTION:

- SITE PREPARATION** - IF SEEDING DOES NOT OCCUR WITHIN 24 HOURS OF FINAL GRADING, SOIL SHALL BE SCARIFIED.
- SOIL AMENDMENTS** - LIME TO pH OF 6.0 AND FERTILIZE WITH 600 lbs. OF 5-10-10 OR EQUIVALENT PER ACRE. FERTILIZERS TO BE APPLIED IN CONFORMANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS PERTAINING TO APPLICATION OF FERTILIZER.
- SEED MIXTURE** - EMPIRE BERDSFOOT TREFOIL OR COMMON WHITE CLOVER 8 lbs. PER ACRE (ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING) - TALL FESCUE 20 lbs. PER ACRE - REDTOP OR PERENNIAL RYE GRASS 5 lbs. PER ACRE.
- METHOD OF SEEDING** - ANY METHOD WHICH ACHIEVES COMPLETE AND UNIFORM DISTRIBUTION AND GOOD SOIL TO SEED CONTACT WILL BE ALLOWED. MULCH
- MULCH** - HAY OR STRAW APPLIED AT 2 TONS PER ACRE AND COVERING APPROXIMATELY 90% OF SEEDED AREA.



NORTH AMERICAN GREEN "BioNet C125" DOUBLE NET COCONUT BLANKET INSTALLATION DETAIL



RIP RAP APRON SIZING CHART

CULVERT DIA. (D)	NYS DOT STANDARD STONE FILLING APRON MATERIAL	d50	dMAX	MINIMUM APRON THICKNESS (IN)	MINIMUM OUTLET APRON LENGTH (FT) (Lo)
12"	LIGHT	6"	9"	18	10
36"	MEDIUM	9"-12"	14"-18"	24	24

BY DATE: 5/24/23

REVISION: REVISED PER 5-6-23 COMMENT LETTER

NO. 1. 2. 3. 4. 5. 6.

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State of New York Professional Engineer License No. 065155

FISHKILL SELF STORAGE FACILITY
1292 ROUTE 9D, TOWN OF FISHKILL
DUTCHESS COUNTY, NEW YORK
EROSION CONTROL DETAILS

DRAWN: LJP

CHECKED: LJP

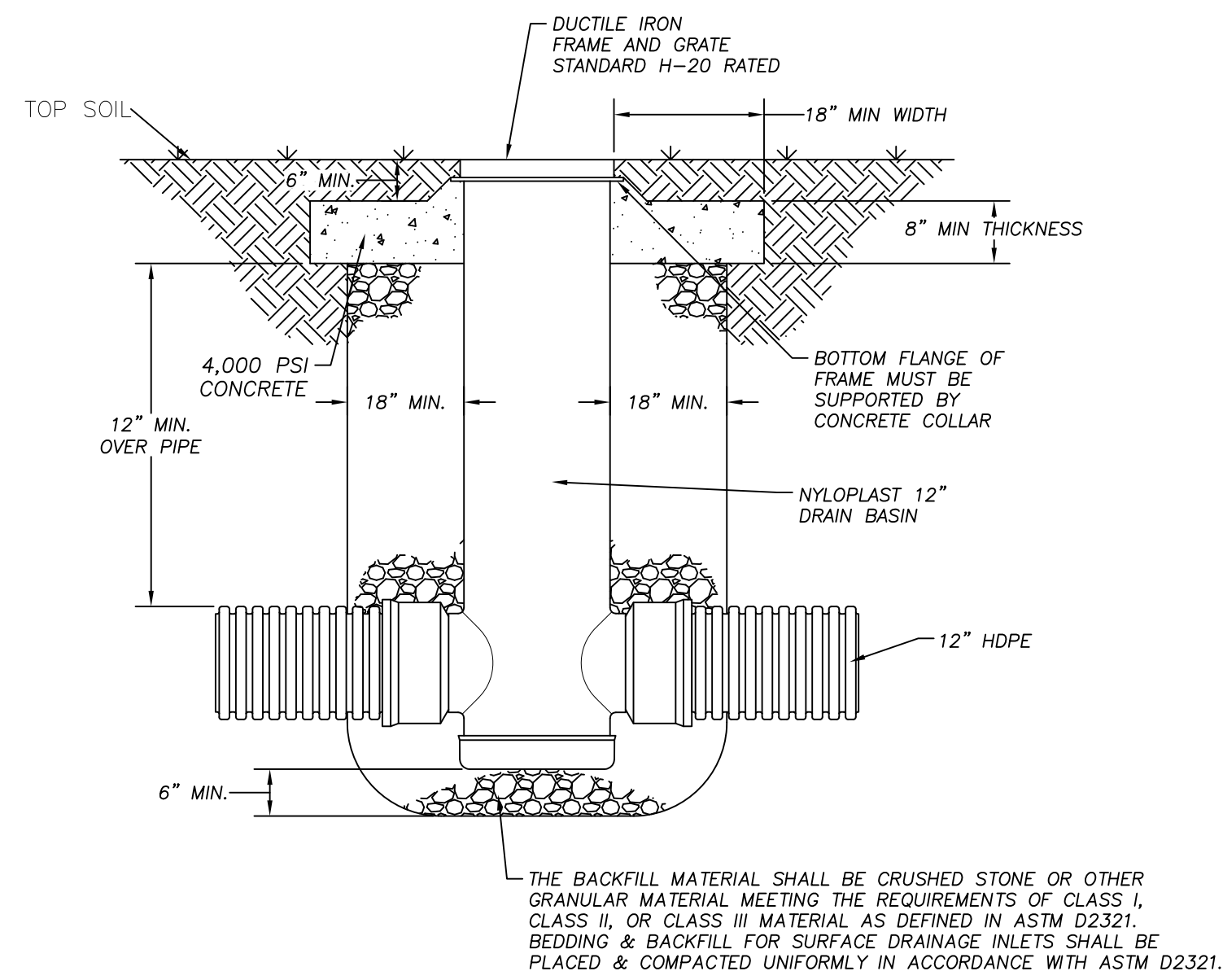
DATE: DECEMBER 14, 2022

SCALE: 1" = 30'

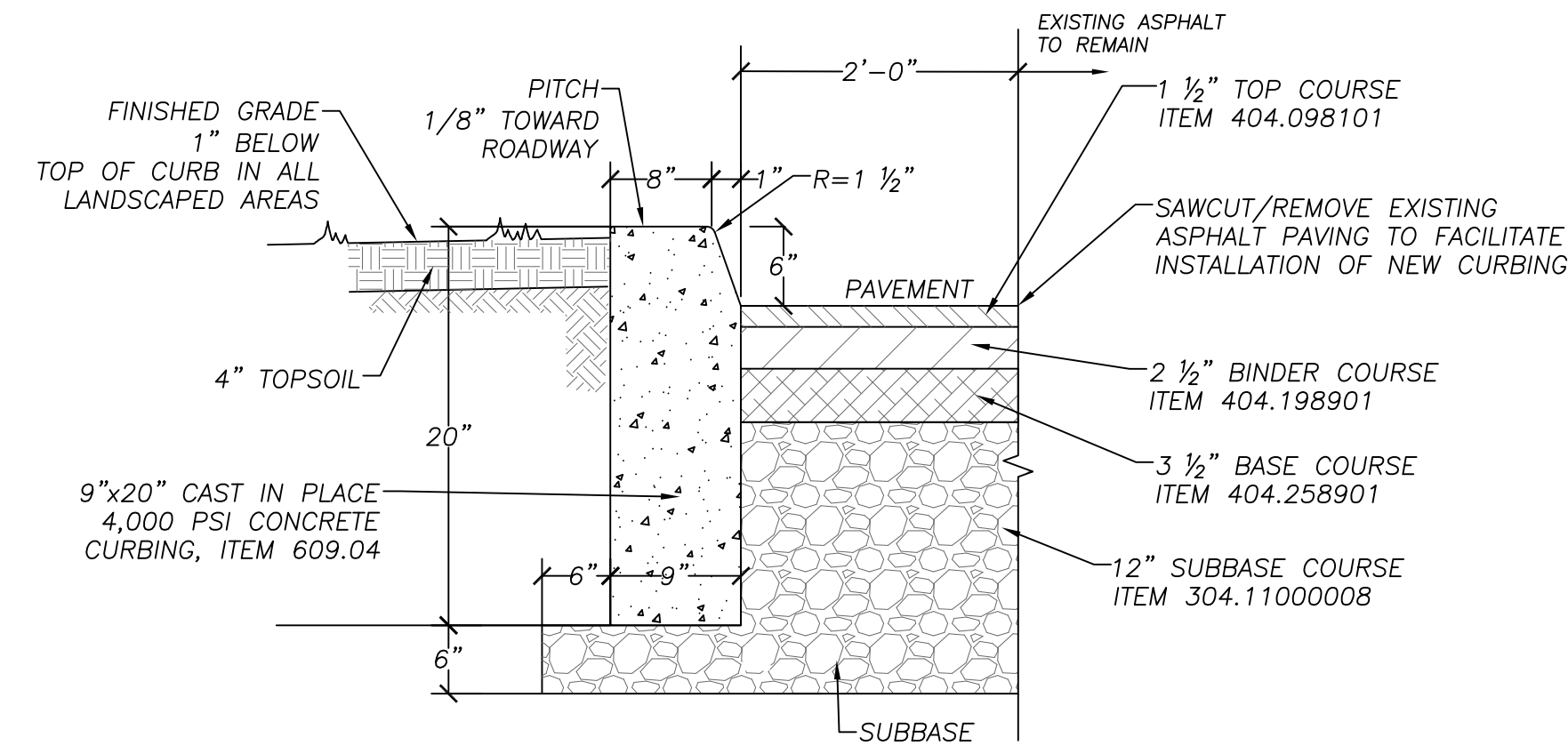
JOB NUMBER: 22-12

SHEET # C5

SHEET 5 OF 9



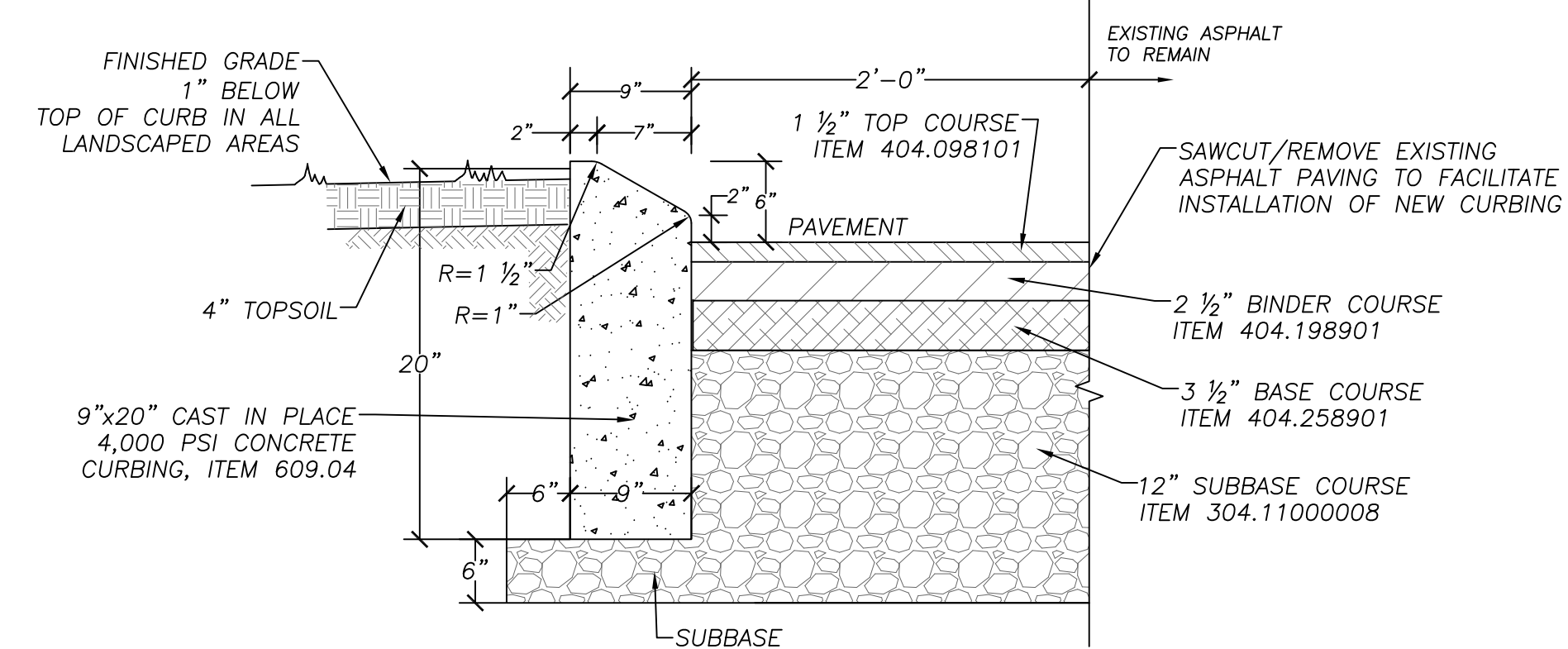
NYLOPLAST TURF TRAFFIC INSTALLATION
NOT TO SCALE



NOTES:

1. ONLY PROPOSED PAVEMENT REPLACEMENT WITHIN NYS DOT RIGHT-OF-WAY WILL RECEIVE THE SPECIFIED PAVEMENT COURSE.
2. CONCRETE USED IN CURBING AND SIDEWALK SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND BE AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT BETWEEN 5% AND 7% BY VOLUME.
3. PROVIDE EXPANSION JOINTS EVERY 20'.

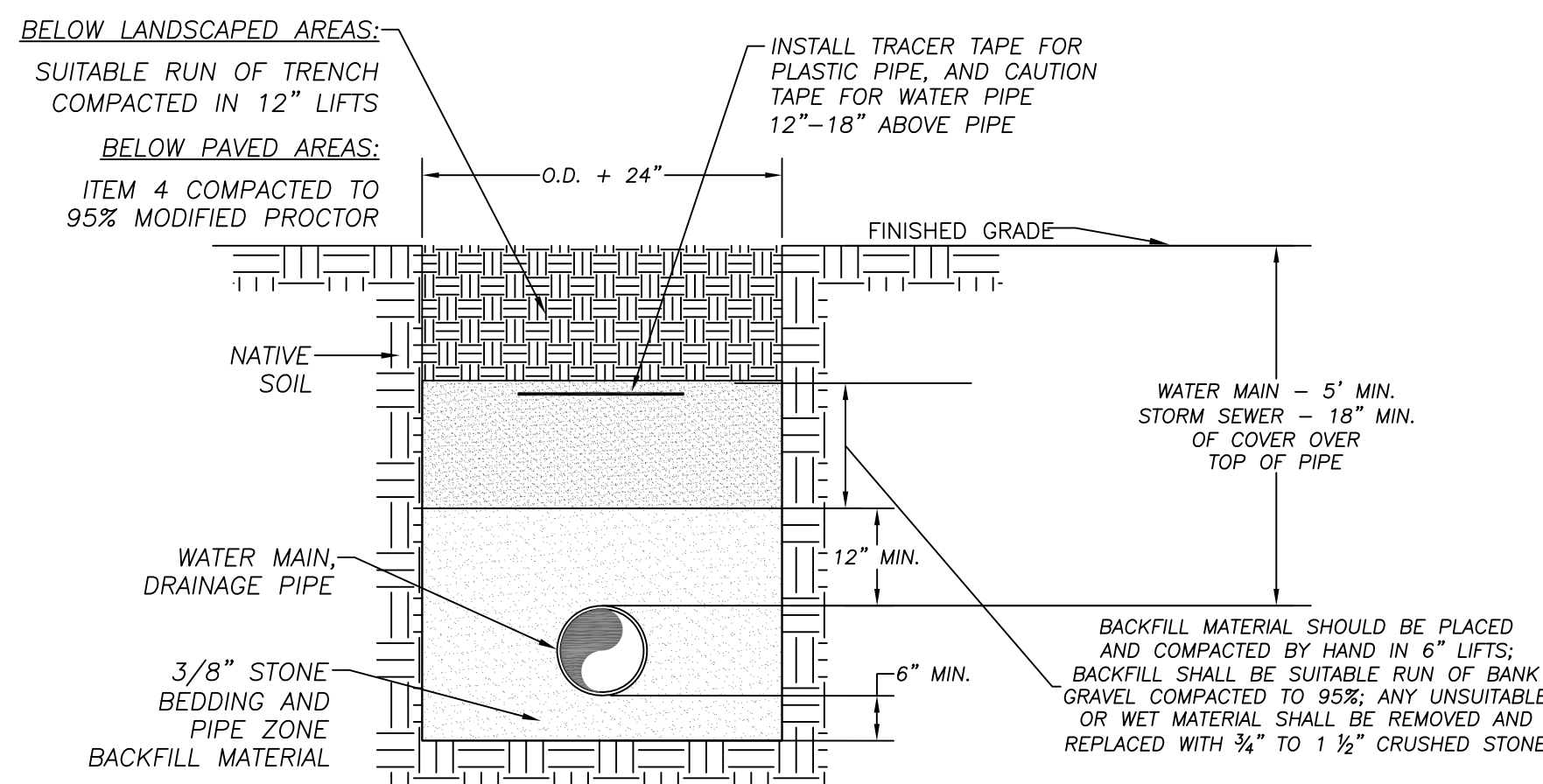
N.Y.S.D.O.T. CURB AND PAVEMENT DETAIL
NOT TO SCALE



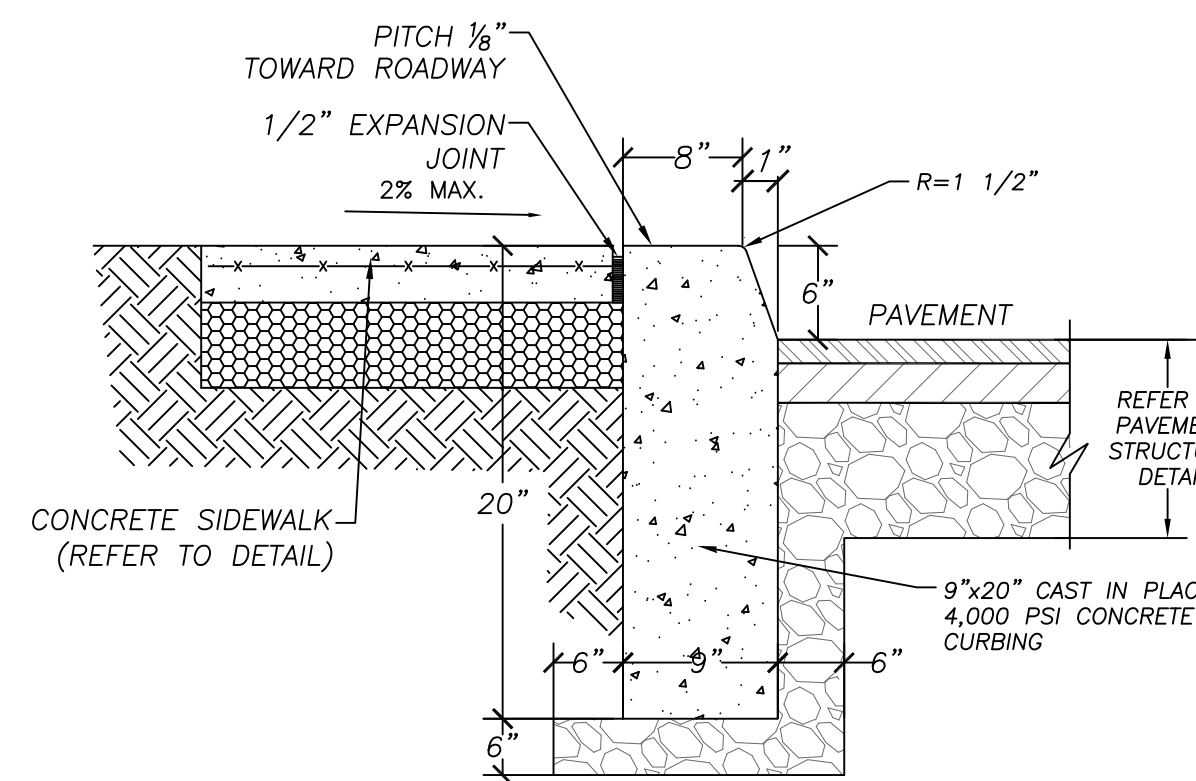
NOTES:

1. ONLY PROPOSED PAVEMENT REPLACEMENT WITHIN NYS DOT RIGHT-OF-WAY AND FIRST 60' OF THE PROPOSED ENTRANCE DRIVE TO THE PROJECT SITE WILL RECEIVE THE SPECIFIED PAVEMENT COURSE.
2. CONCRETE USED IN CURBING AND SIDEWALK SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND BE AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT BETWEEN 5% AND 7% BY VOLUME.
3. PROVIDE EXPANSION JOINTS EVERY 20'.

N.Y.S.D.O.T. MOUNTABLE CURB AND PAVEMENT DETAIL
NOT TO SCALE



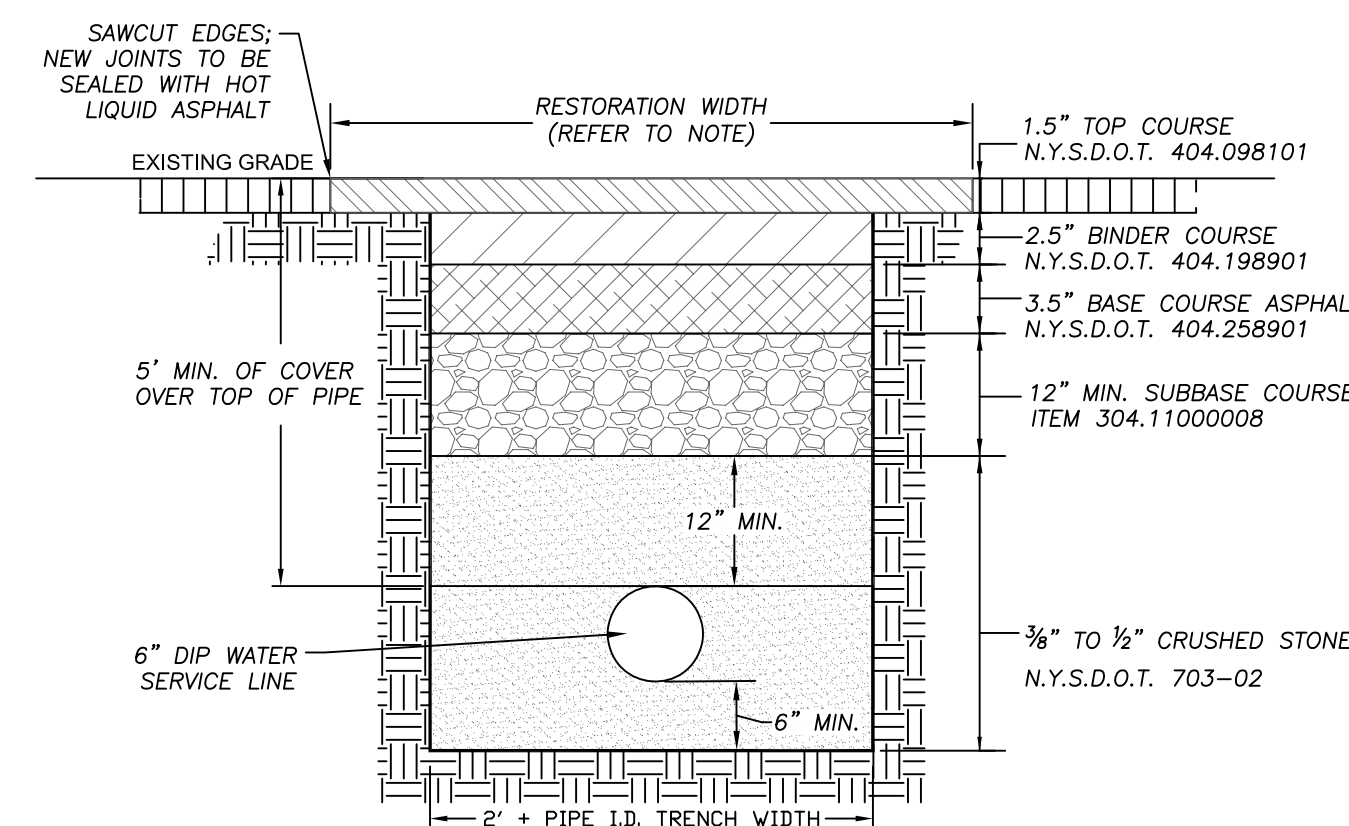
STANDARD UTILITY TRENCH DETAIL
NOT TO SCALE



NOTES:

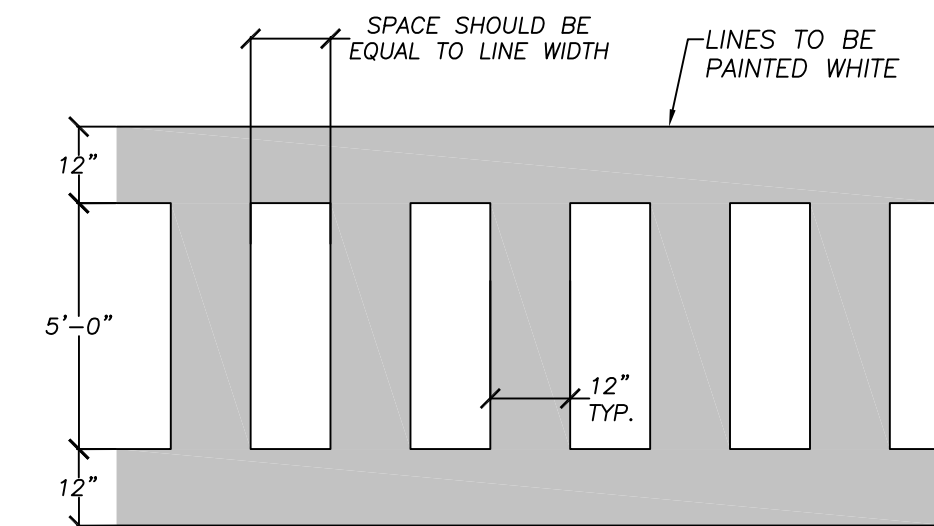
1. CONCRETE USED IN CURBING SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND BE AIR ENTRAINED WITH AN ADMIXTURE PRODUCING AN AIR CONTENT BETWEEN 5% AND 7% BY VOLUME.
2. PROVIDE EXPANSION JOINTS EVERY 20'.

CONCRETE CURB DETAIL
NOT TO SCALE



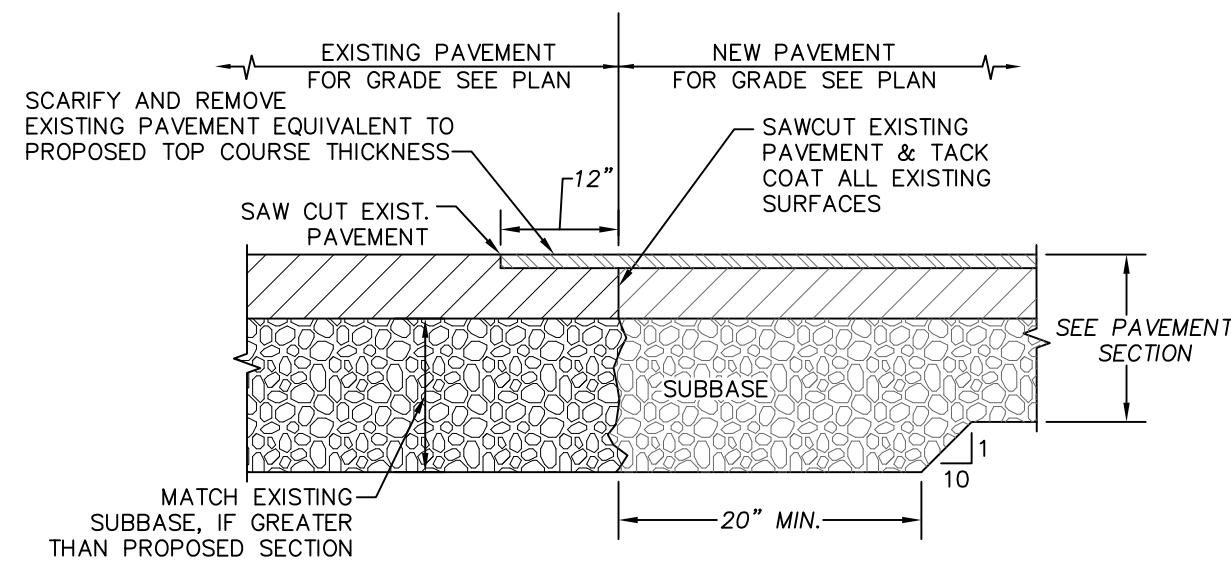
1. *EACH LIFT TO BE TESTED IN AT LEAST 2 LOCATIONS FOR COMPACTION.
2. TRENCH TO BE PLATED OVERNIGHT.
3. THE PAVEMENT ALONG SIDE OF THE UTILITY TRENCH MUST BE SAW CUT AT LEAST 1 FOOT BACK FROM THE TOP EDGE OF TRENCH ON BOTH SIDES.
4. THE PAVEMENT MUST BE REPLACED IN KIND, IF CONCRETE EXISTS, DOWELS MUST BE INSTALLED 12 INCHES ON CENTER, EXTENDING INTO THE EXISTING CONCRETE AT LEAST 8 INCHES, AND EXTENDING INTO NEW CONCRETE PATCH AT LEAST 6 INCHES. DOWELS SHALL BE 3/4-INCH DIAMETER REBAR.

N.Y.S.D.O.T. PAVEMENT RESTORATION DETAIL
NOT TO SCALE

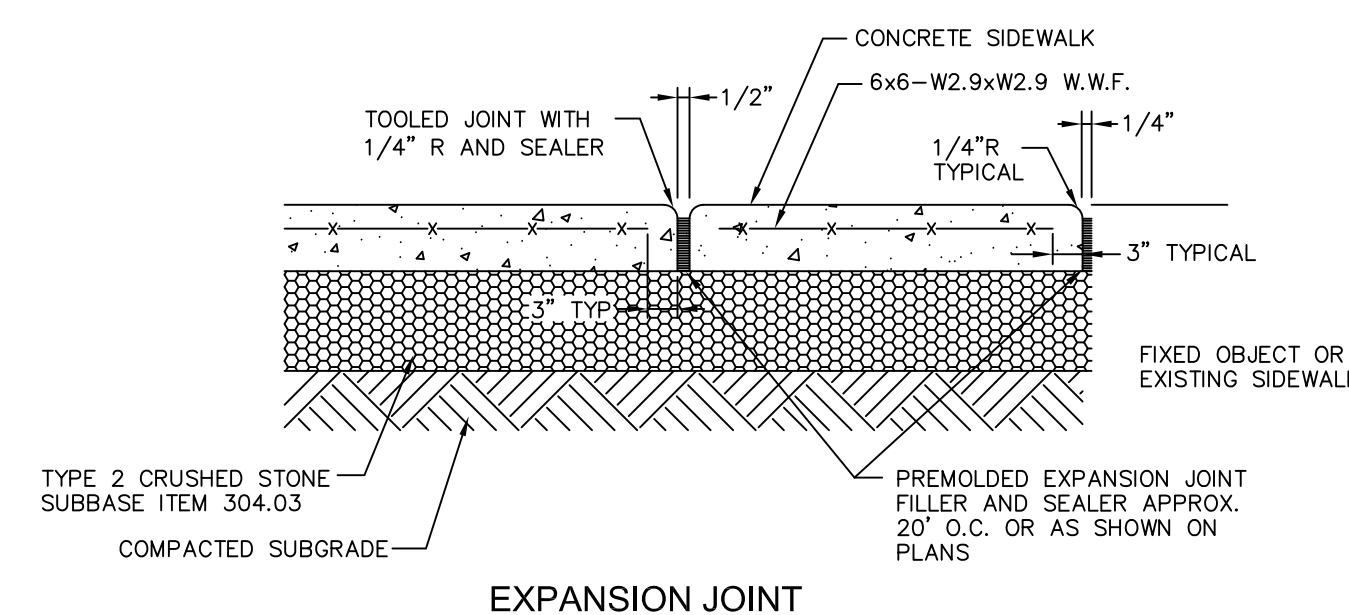


NOTE:
PAVEMENT-MARKING PAINT: MPI #97, LATEX TRAFFIC-MARKING PAINT, OR APPROVED EQUAL.

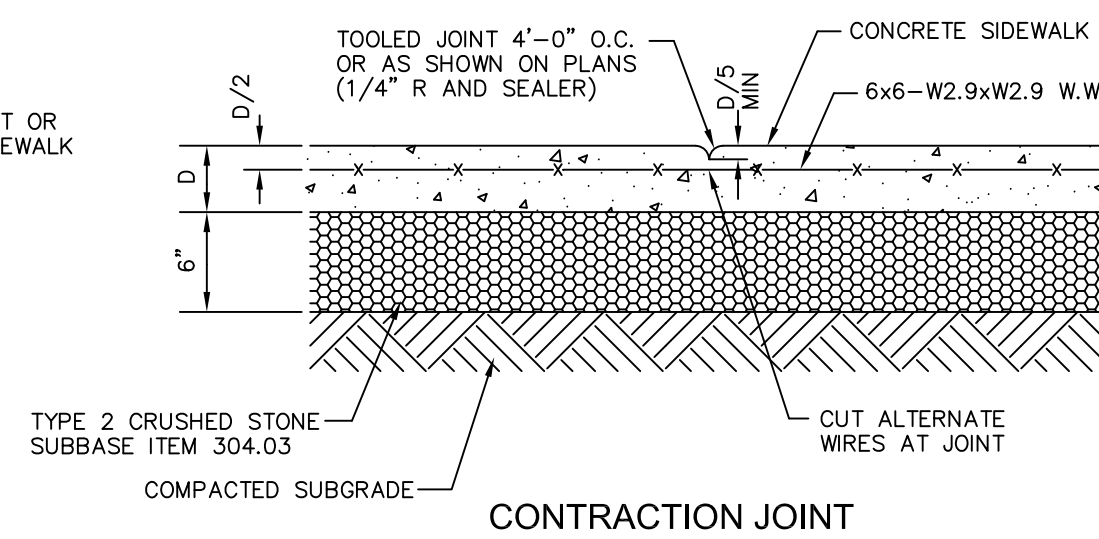
CROSS WALK STRIPING
NOT TO SCALE



PAVEMENT TRANSITION DETAIL
NOT TO SCALE

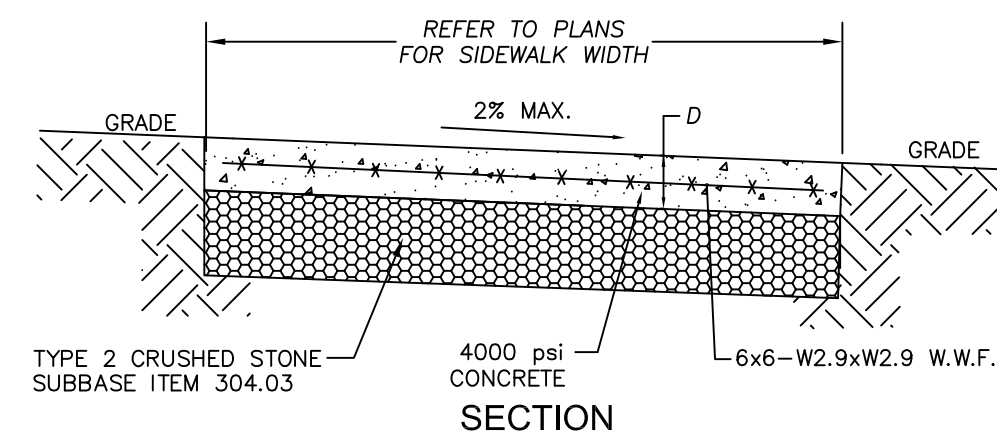


EXPANSION JOINT

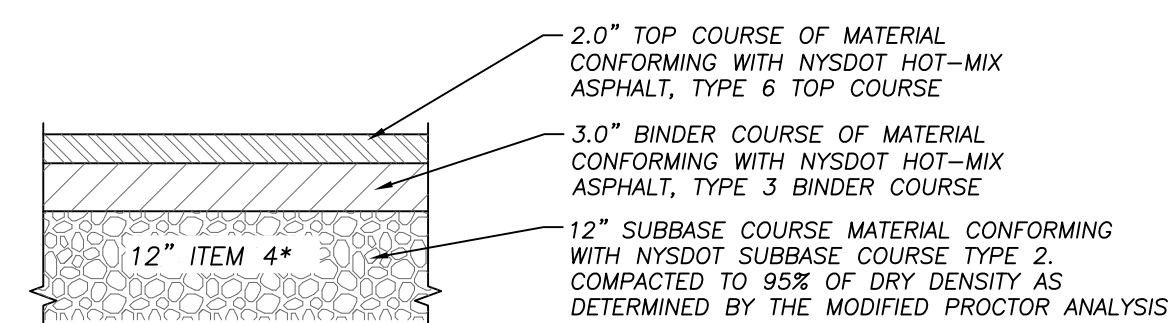


CONTRACTION JOINT

- NOTES:**
1. ALL EXPOSED SURFACES TO HAVE BROOMED TEXTURE.
 2. JOINTS SHALL NOT BE SAW CUT.
 3. THICKNESS OF SIDEWALK (D) TO BE 4\".



CONCRETE SIDEWALK DETAIL
NOT TO SCALE

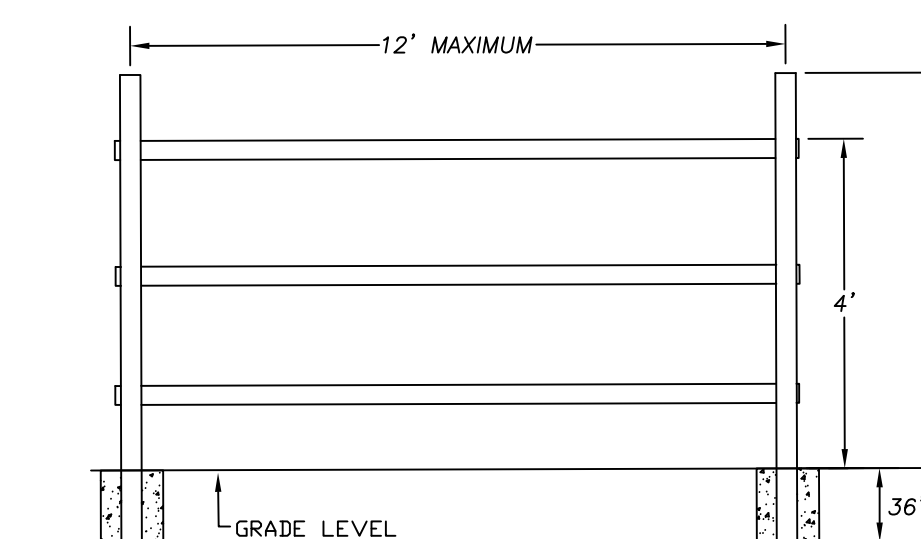


* - IN LIEU OF 12\"/>

AS A MINIMUM THE FOUNDATION MATERIAL SHALL CONFORM TO THE FOLLOWING GRADATION (PERCENT PASSING BY WEIGHT):

- 100% PASSING 2 INCH;
- 30% TO 65% PASSING 1/4 INCH;
- 5% TO 40% PASSING #40;
- LESS THAN 10% PASSING #200.

PAVEMENT STRUCTURE DETAIL
NOT TO SCALE



POST AND RAIL FENCE DETAIL
NOT TO SCALE

- THE POST AND RAIL FENCING SHALL BE EITHER CEDAR OR PRESSURE TREATED PINE.
- POSTS SHALL BE DRIVEN, PUSH FIT INTO PREDRILLED HOLES, OR PLACED IN EXCAVATIONS AND SET WITH POURED IN PLACE CONCRETE.
- POSTS SHALL BE 8 FEET LONG MINIMUM, SET 3 FEET MINIMUM BELOW GRADE.
- POST SPACING SHALL BE 12 FEET MAXIMUM.

BY DATE	5/24/23
REVISION	REVISED PER 3-6-23 COMMENT LETTER
NO.	1, 2, 3, 4, 5, 6

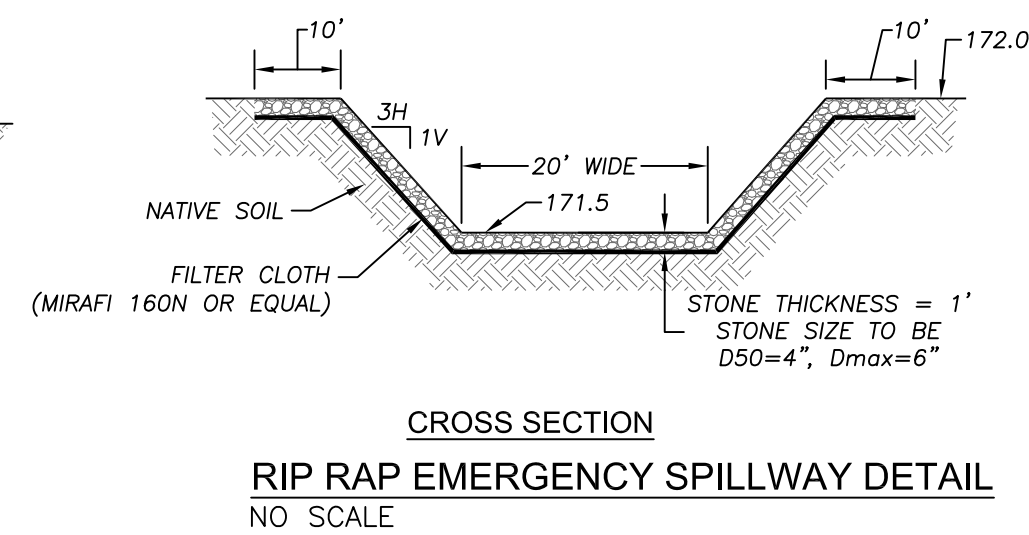
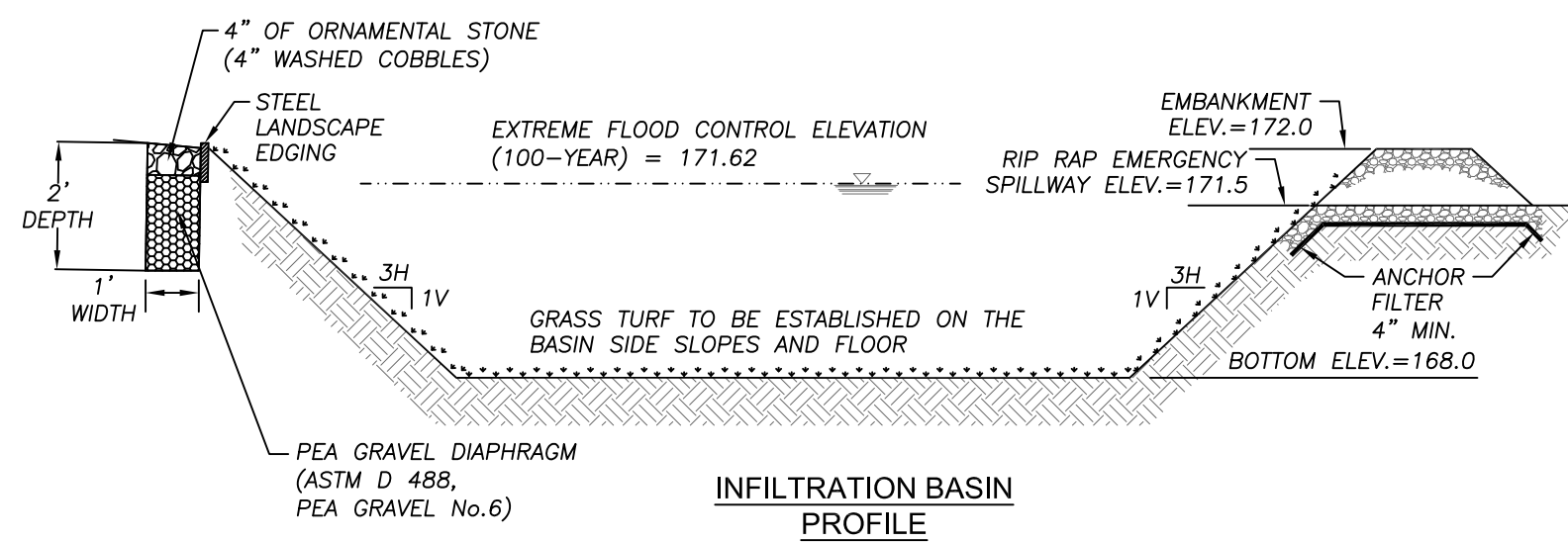
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FISHKILL SELF STORAGE FACILITY
1292 ROUTE 9D, TOWN OF FISHKILL
DUTCHESS COUNTY, NEW YORK
CONSTRUCTION DETAILS

DRAWN:

CHECKED:	LJP
DATE:	DECEMBER 14, 2022
SCALE:	1" = 30'
JOB NUMBER:	22-12

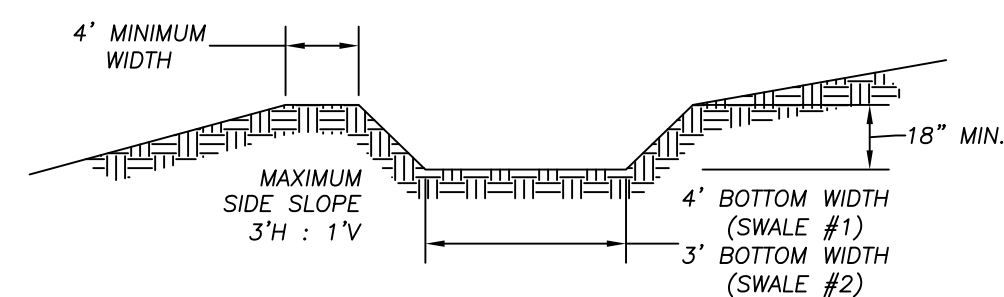


- NOTES:
- AREA OF THE PROPOSED INFILTRATION BASIN SHALL BE IMMEDIATELY STABILIZED USING APPROPRIATE TECHNIQUES WHICH MEET THE DESIGN CRITERIA DESCRIBED IN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WHICH INCLUDE THE FOLLOWING:
- GRADE TO FINISHED SLOPES.
 - APPLY FULL SOIL RESTORATION IN ALL DISTURBED AREAS THAT PROPOSED TO HAVE PERVIOUS COVER IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL.
 - SCARIFIED.
 - TOPSOILED WITH NOT LESS THAN FOUR INCHES OF SUITABLE TOPSOIL MATERIAL.
 - BOTTOM AND SIDE SLOPES OF THE INFILTRATION BASIN SHALL BE SEEDED WITH LANDSCAPING OR CONTRACTOR SEED-MIX AT THE RATE OF NOT LESS THAN FIVE POUNDS PER 1,000 SQUARE FEET.
 - MULCHED WITH NOT LESS THAN ONE INCH AND NOT MORE THAN THREE INCHES OF STRAW (TWO TONS PER ACRE) AND ANCHORED IN A SUITABLE MANNER.

OPERATION AND MAINTENANCE REQUIREMENTS FOR INFILTRATION BASIN:

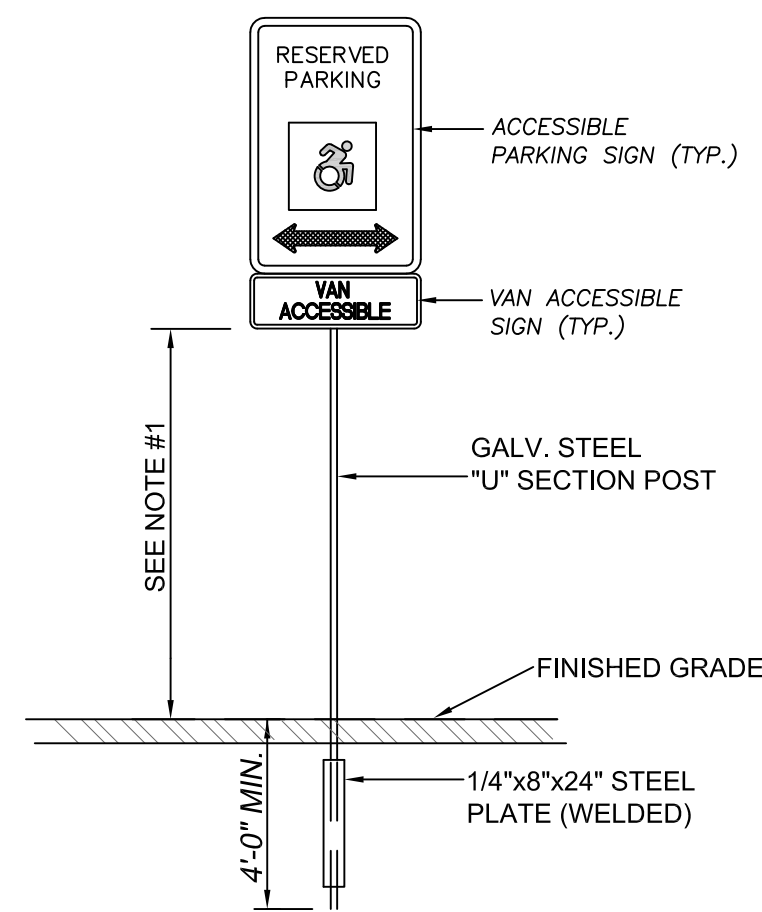
- FERTILIZE AND LIME AS NEEDED TO MAINTAIN DENSE VEGETATION. FERTILIZER TO BE APPLIED IN ACCORDANCE WITH NYS NUTRIENT RUNOFF LAW.
- MOW AS REQUIRED DURING THE GROWING SEASON TO MAINTAIN GRASS HEIGHTS AT 4 INCHES TO 6 INCHES.
- REMOVE ANY SEDIMENT OR DEBRIS BUILDUP BY HAND IF POSSIBLE WHEN THE DEPTH REACHES 2 INCHES.
- INSPECT FOR POOLS AND STANDING WATER. RE-GRADE TO RESTORE DESIGN GRADE AND RE-VEGETATE.
- USE OF HEAVY EQUIPMENT FOR MOWING AND REMOVING PLANTS/DEBRIS SHOULD BE AVOIDED TO MINIMIZE SOIL COMPACTION. DISTURBED AREAS SHOULD BE STABILIZED WITH SEED AND MULCH.
- VEGETATION SHALL BE MAINTAINED IN DENSE AND VIGOROUS GROWING CONDITION BY THE CONTRACTOR FOR THE PERIOD OF 1 YEAR AFTER CONSTRUCTION HAS BEEN COMPLETED AND BY THE OWNER THERE AFTER. IF A MINIMUM COVERAGE OF 50% IS NOT ACHIEVED AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING IS REQUIRED.

INFILTRATION BASIN DETAIL
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED.
 - THE DIVERSION SWALE SHALL BE EXCAVATED TO LINES, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS AND OTHER IRREGULARITIES WHICH WILL IMPED NORMAL FLOW.
 - FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
 - ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH FUNCTIONING OF THE DIVERSION SWALE.
 - DIVERSION SWALE SHALL BE VEGETATED WITH KENTUCKY 31 TALL FESCUE AND KENTUCKY BLUEGRASS AND STABILIZED WITH NORTH AMERICAN GREEN "C125" DOUBLE NET EROSION CONTROL BLANKET.

GRASED DIVERSION SWALE CROSS SECTION
NOT TO SCALE

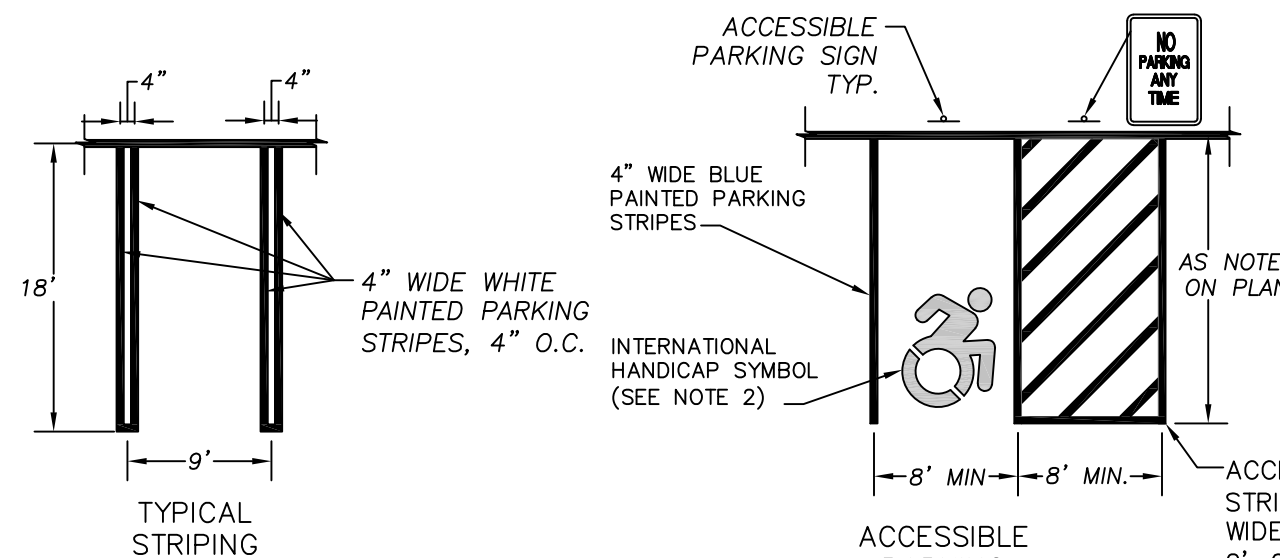


- NOTES:
- SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYCRR, CHAPTER V-UNIFORM TRAFFIC CONTROL DEVICES".
 - SIGN POST SHALL BE IN ACCORDANCE W / NYSDOT STANDARD SPECS SECTION 730.

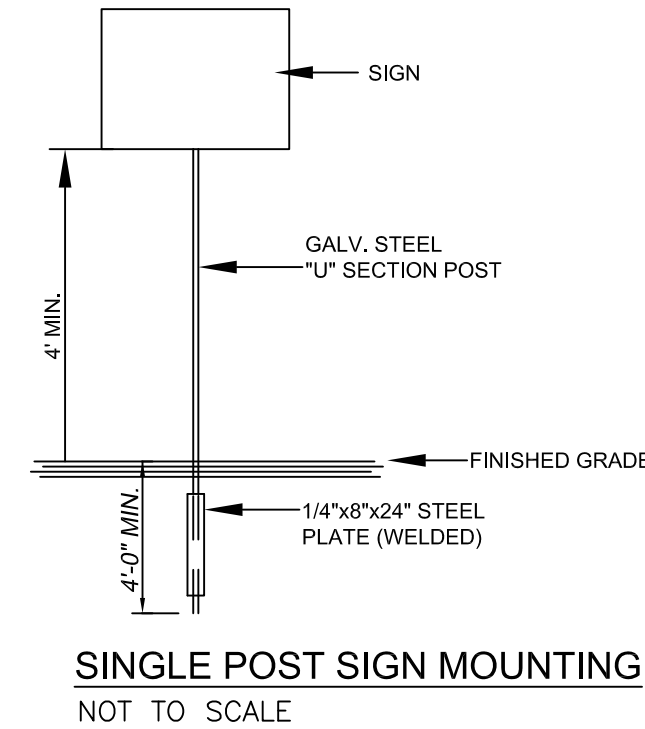
SINGLE POST SIGN MOUNTING
NOT TO SCALE

SIGN NO.	SIGN FACE	MUTCD NUMBER	MIN SIZE	BCK GRND	COLORS	LEGEND
A	RESERVED PARKING	R7-8	12"x18"	WHITE/BLUE	GREEN/WHITE	
B	VAN ACCESSIBLE	R7-8P	12"x6"	WHITE	BLUE	
C	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED	
D	STOP	R1-1	24"x24"	RED	WHITE	
E	NO PARKING	R3-2	36"x36"	WHITE	BLACK/RED	

PAVEMENT MARKING DETAIL
PARKING STRIPING
NOT TO SCALE

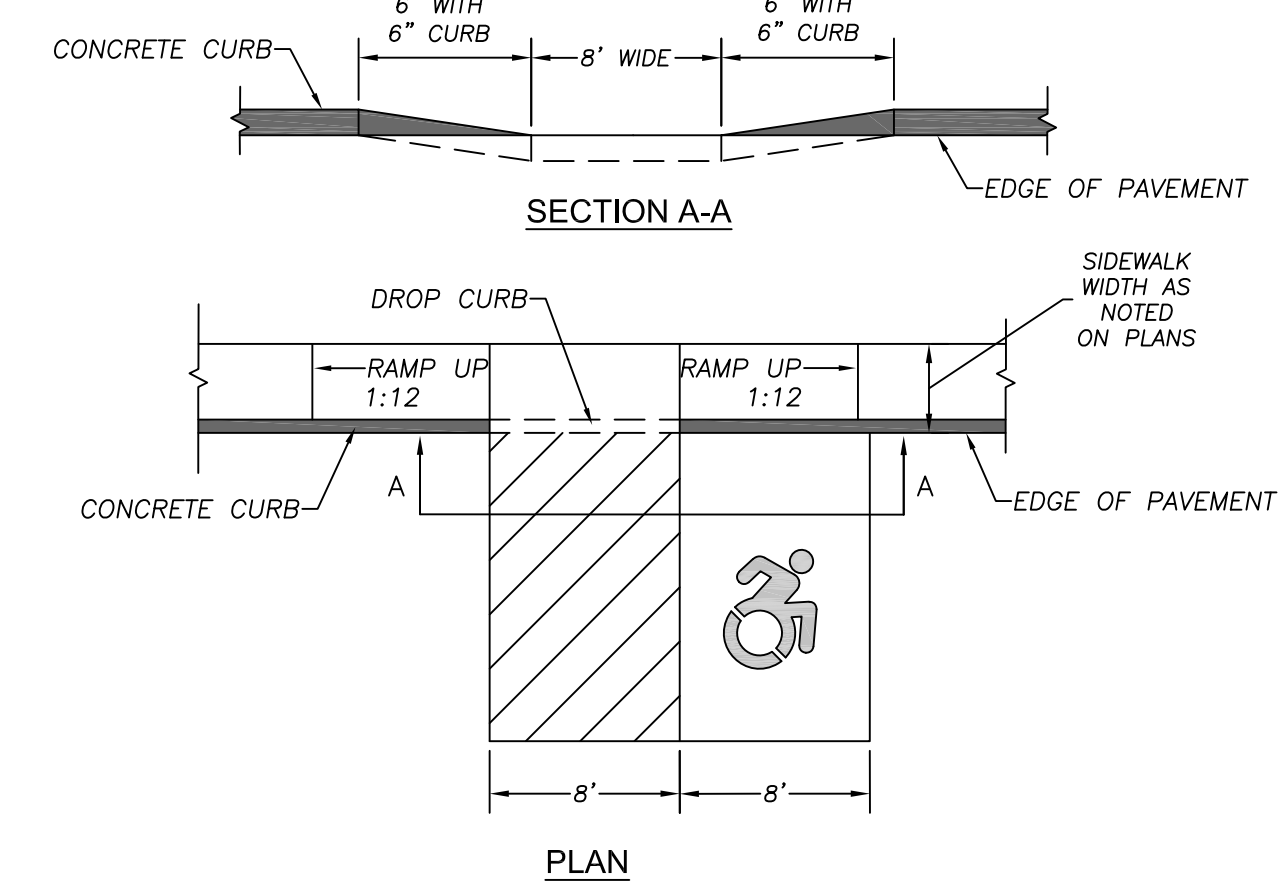


- NOTES:
- ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
 - PAINTED ACCESSIBLE PARKING SYMBOL TO BE IN ACCORDANCE W/ ADA STANDARDS.
 - SLOPE OF PAVEMENT SURFACE IN HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE.

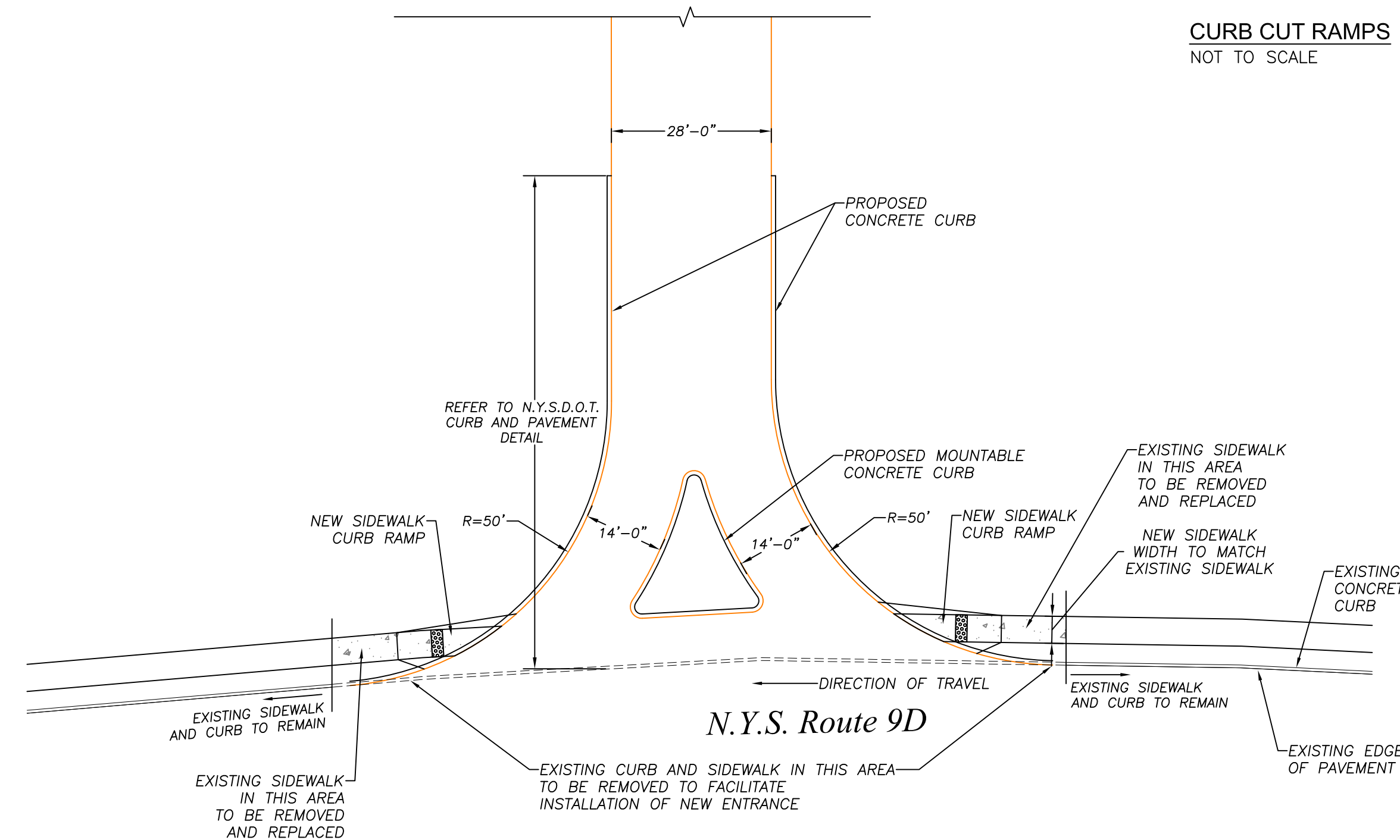


SIGN NO.	SIGN FACE	MIN SIZE	BCK GRND	COLORS
A	STORMWATER MANAGEMENT PRACTICE - Infiltration Basin (1-2) Project Identification - SPDES NY Must Be Maintained In Accordance With O&M Plan DO NOT REMOVE OR ALTER	18"x24"	WHITE	GREEN

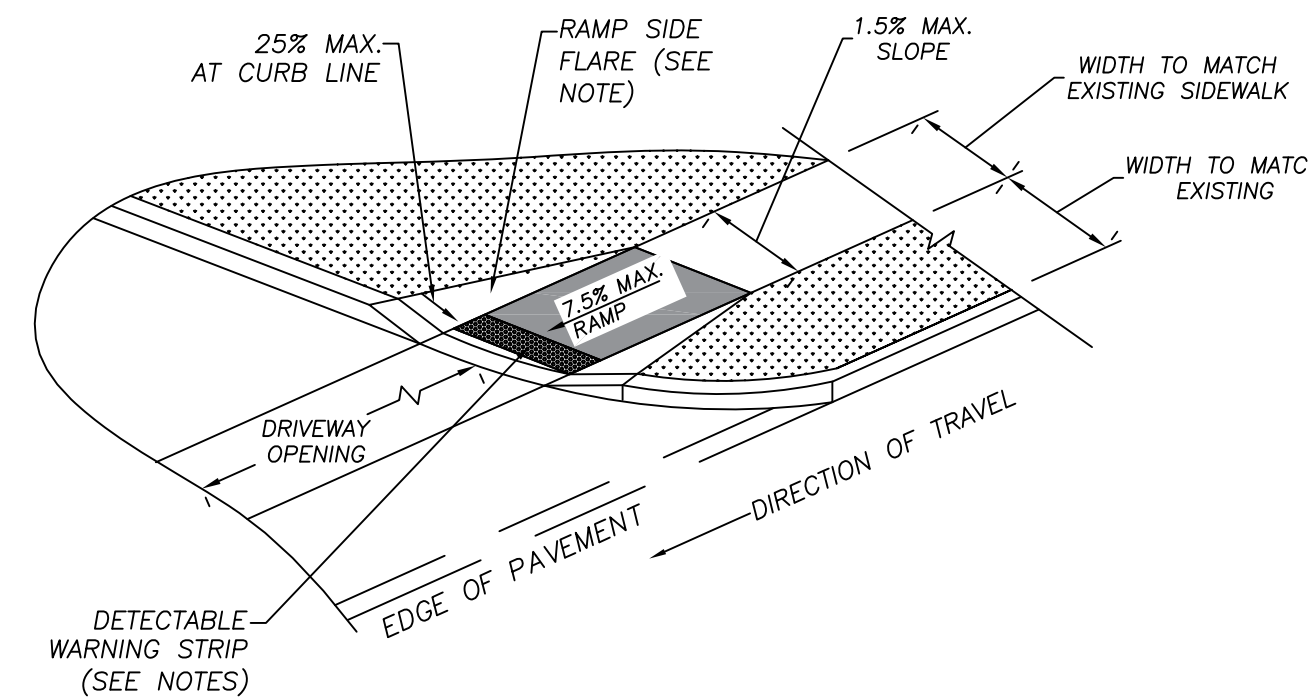
SIGN SCHEDULE
NOT TO SCALE



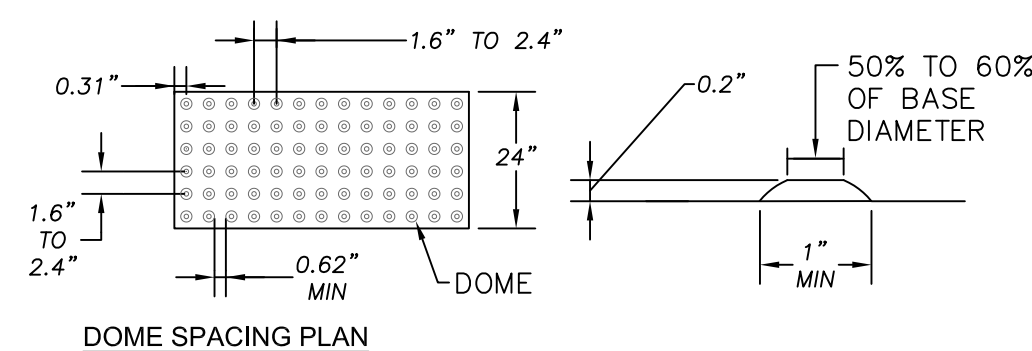
CURB CUT RAMPS
NOT TO SCALE



DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE



SIDEWALK CURB RAMP DETAIL
NOT TO SCALE



DETECTABLE WARNING SURFACE TRUNCATED DOME DETAIL
NOT TO SCALE

GENERAL SIDEWALK NOTES:

- JOINTS BETWEEN SIDEWALKS, CURB RAMPS, TURNING SPACES AND ROADWAYS SHALL BE FLUSH AND FREE FROM ABRUPT VERTICAL CHANGES GREATER THAN 1/4". VERTICAL SURFACE DISCONTINUITIES BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE JOINT.
- SIDEWALK GRADE (RUNNING SLOPE) SHALL NOT EXCEED 4.5%, EXCEPT WHEN MATCHING INTO EXISTING SIDEWALK OR WHEN THE HIGHWAY GRADE IS STEEPER. WHEN HIGHWAY GRADE IS GREATER THAN 5%, THE SIDEWALK GRADE SHALL NOT EXCEED THE HIGHWAY GRADE.
- THE CROSS SLOPE OF PEDESTRIAN ACCESS ROUTES SHALL BE 1.5% MAXIMUM.

CURB RAMP NOTES:

- THE MINIMUM WIDTH OF THE PROPOSED CURB RAMP SHALL BE 4'-0".
- THE RUNNING SLOPE OF THE CURB RAMP SHALL BE A MINIMUM OF 5% AND A MAXIMUM OF 7.5%.
- THE SIDES OF THE CURB RAMP SHALL BE GRADED TO A MAXIMUM SLOPE OF 25% TO MATCH EXISTING TERRAIN OR PROPOSED GRADES SHOWN ON THE PLAN.

DETECTABLE WARNING STRIP NOTES:

- AN ADA COMPLIANT DETECTABLE WARNING STRIP SHALL BE PROVIDED PRIOR TO TRANSITIONS TO ROAD OR DRIVEWAY CROSSINGS.
- DETECTABLE WARNING STRIPS SHALL BE A MINIMUM OF 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE SIDEWALK/ CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES.
- ON SLOPES OF 5% OR GREATER, THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP.
- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH THE ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

BY DATE: 6/24/23

REVISION: REVISED PER 6-6-23 COMMENT LETTER

NO. 1, 2, 3, 4, 5, 6

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State of New York Professional Engineer Seal: Lawrence J. Paggi, No. 065155, Exp. 12/31/25

FISHKILL SELF STORAGE FACILITY
1292 ROUTE 9D, TOWN OF FISHKILL
DUTCHESS COUNTY, NEW YORK
CONSTRUCTION DETAILS

DRAWN: LJP

DATE: DECEMBER 14, 2022

SCALE: 1" = 30'

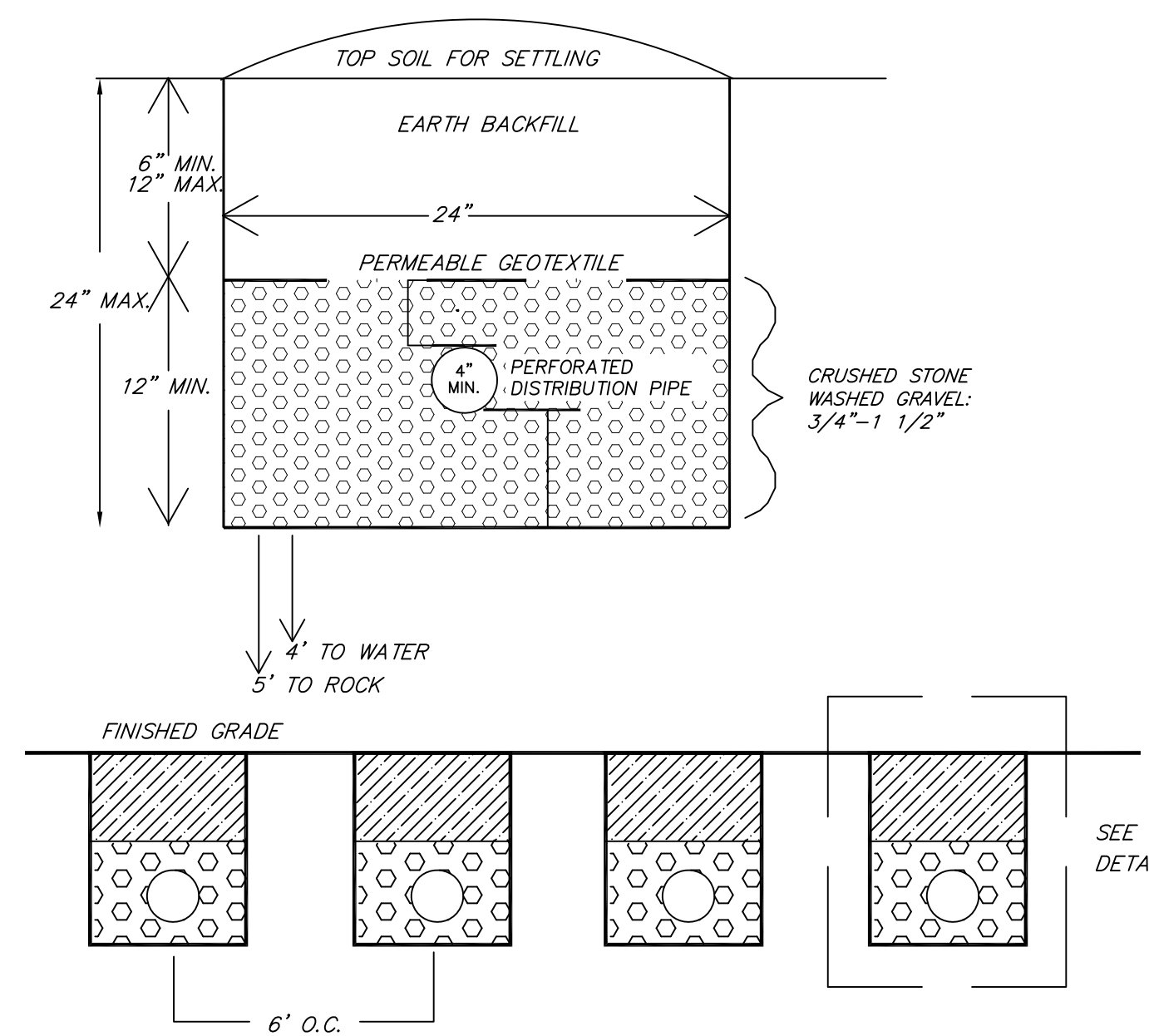
JOB NUMBER: 22-12

SHEET # C7

SHEET 7 OF 9

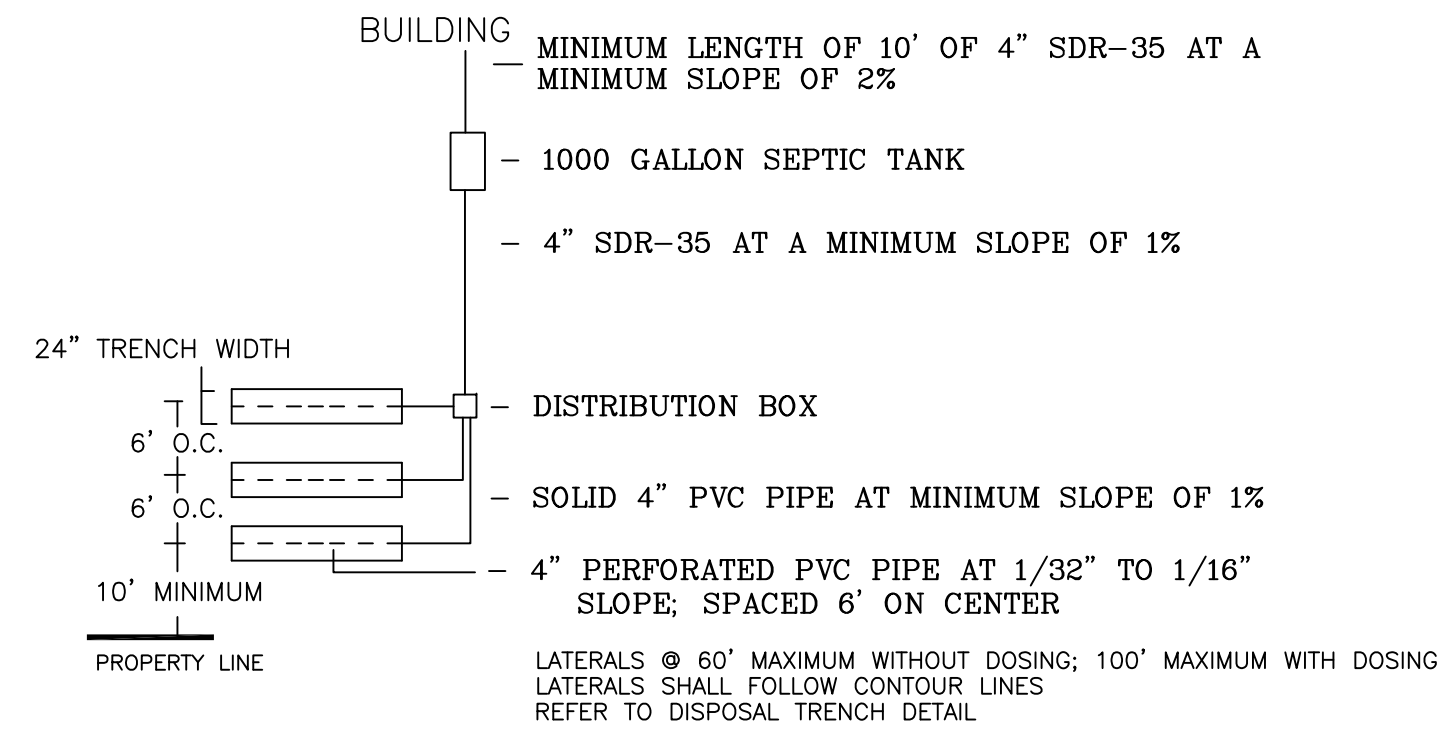
STANDARD NOTES:

- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
 - "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
 - "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC.
 - "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)".
 - "RECOMMENDED STANDARDS FOR WATER WORKS, (TEN STATES)".
 - "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS".
 - "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES".
 - "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICE DIVISION CERTIFICATE OF APPROVAL LETTER".
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT.
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHS BY THE NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHS.
- APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS, EXISTING OR APPROVED, LOCATED WITHIN 300 FEET OF THE EXISTING WELLS AND PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.
- IF TANKS ARE DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHS FIELD INSPECTOR AND OR/DESIGN PROFESSIONAL THAT ALL TANKS ARE SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANKS WITH WATER TO OBSERVE IF TANKS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS LEAKAGE TEST SHALL BE WITNESSED BY THE APPLICANTS ENGINEER. THE TANKS MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- ALL PROPOSED SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
- NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE SEWAGE DISPOSAL SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.
- ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
- THE DC EHS SHALL BE NOTIFIED PRIOR TO BACKFILL OF ANY COMPLETED ONSITE WASTEWATER TREATMENT SYSTEM SO THAT A FINAL INSPECTION MAY BE PERFORMED.
- THE DC EHS SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE REAPPROVAL BY THE DC EHS.
- ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORM WATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- NO BUILDINGS ARE TO BE OCCUPIED AND THE NEW WATER SYSTEM SHALL NOT BE PLACED INTO SERVICE, UNTIL A "COMPLETED WORKS APPROVAL" IS ISSUED UNDER SECTION 5-1.22(D) OF PART 5 OF THE NEW YORK STATE SANITARY CODE (10NYCRRS).

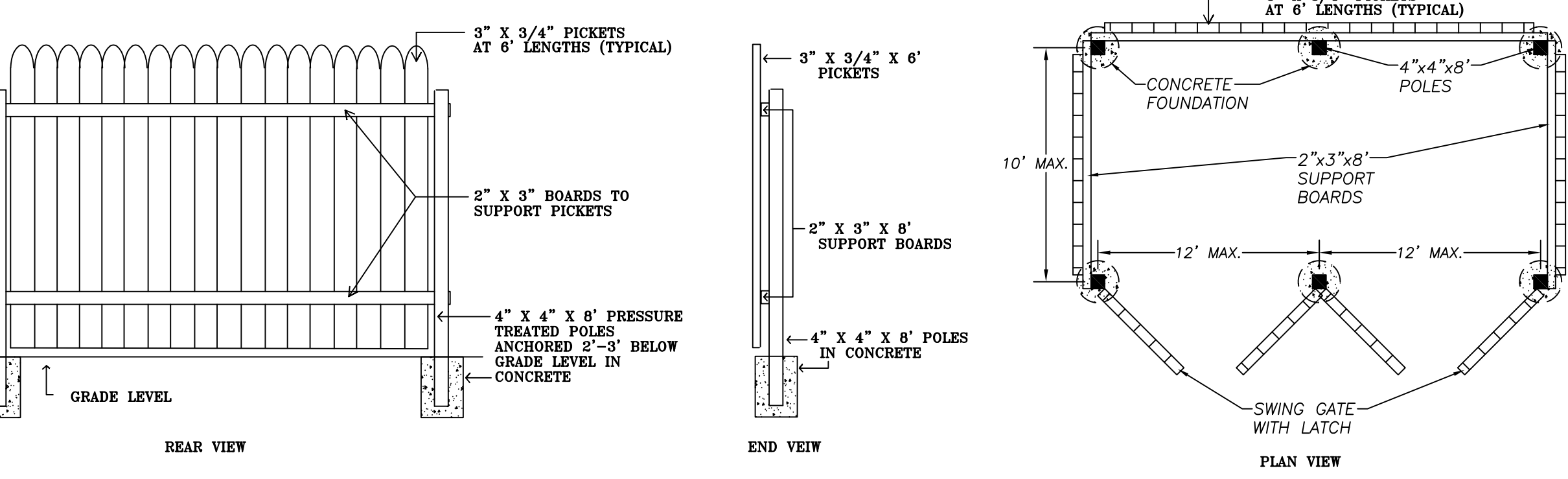


- ABSORPTION TRENCH SPACING: 6' O.C.
- ABSORPTION LATERAL SLOPE: 1/16" - 1/32" PER FT.
- PERFORATED LATERALS SHALL BE INSTALLED LEVEL FOR SYSTEMS THAT ARE DOSED.
- ENDS OF ALL DISTRIBUTION PIPES MUST BE PLUGGED UNLESS INTERCONNECTED

TYPICAL DISPOSAL TRENCH SYSTEM
NOT TO SCALE



TYPICAL DISPOSAL TRENCH SYSTEM TYPE A
NO SCALE

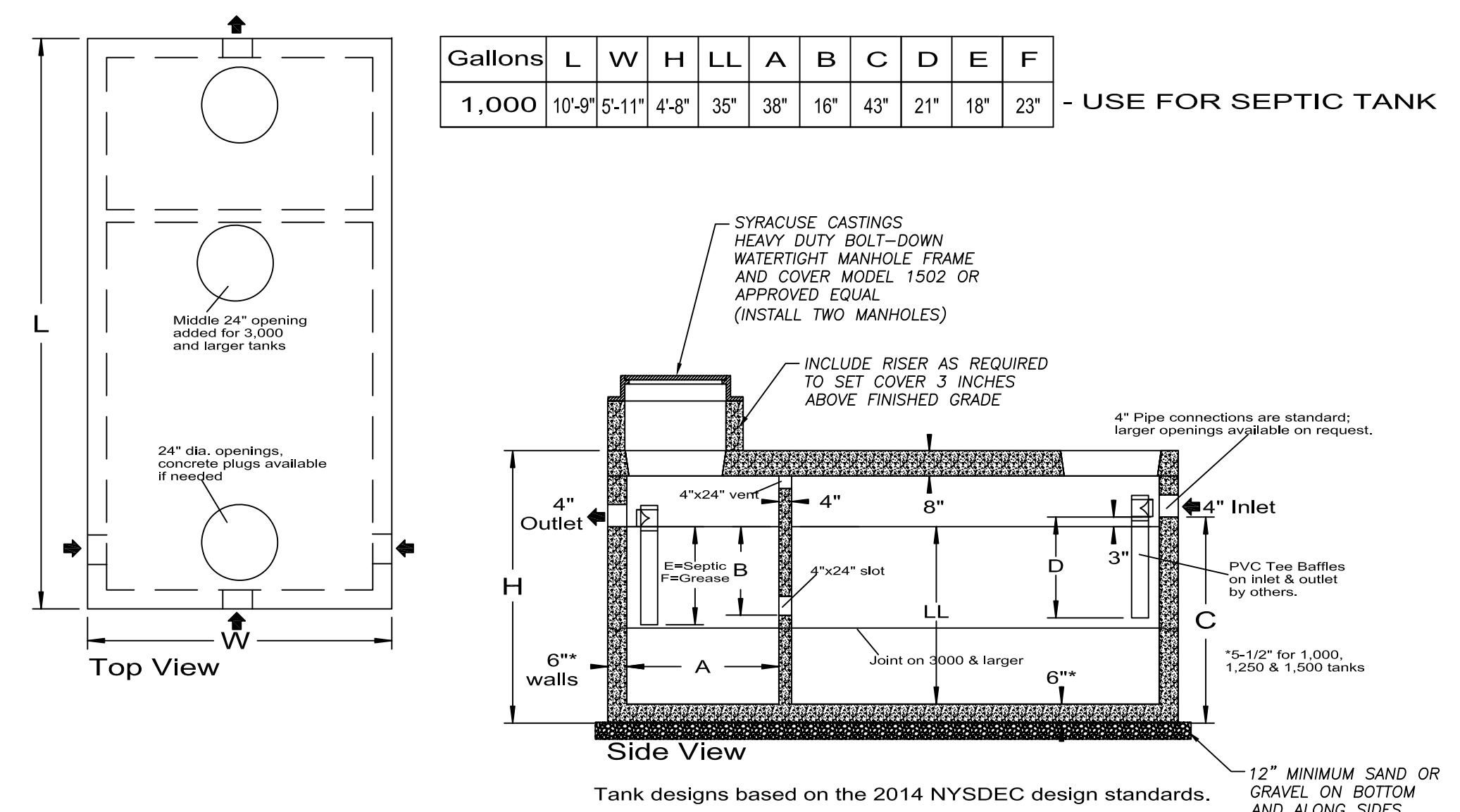


- NOTES:**
- EACH POLE SHALL BE SET IN A CONCRETE FOUNDATION A MINIMUM OF 12" IN DIAMETER AND 3'-6" DEEP.
 - ALL CONCRETE FOR POLES SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH AFTER 28 DAYS OF 4,000 PSI.

DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

Gallons	L	W	H	LL	A	B	C	D	E	F
1,000	10'-9"	5'-11"	4'-8"	35"	38"	16"	43"	21"	18"	23"

- USE FOR SEPTIC TANK



- NOTES:**
- THE INLET/OUTLET PIPES SHALL BE WATERTIGHT.
 - ALL COMMERCIAL TANKS SHALL BE CERTIFIED AS MEETING REQUIRED STANDARDS FOR ALLOWABLE LEAKAGE BY A PROFESSIONAL ENGINEER.

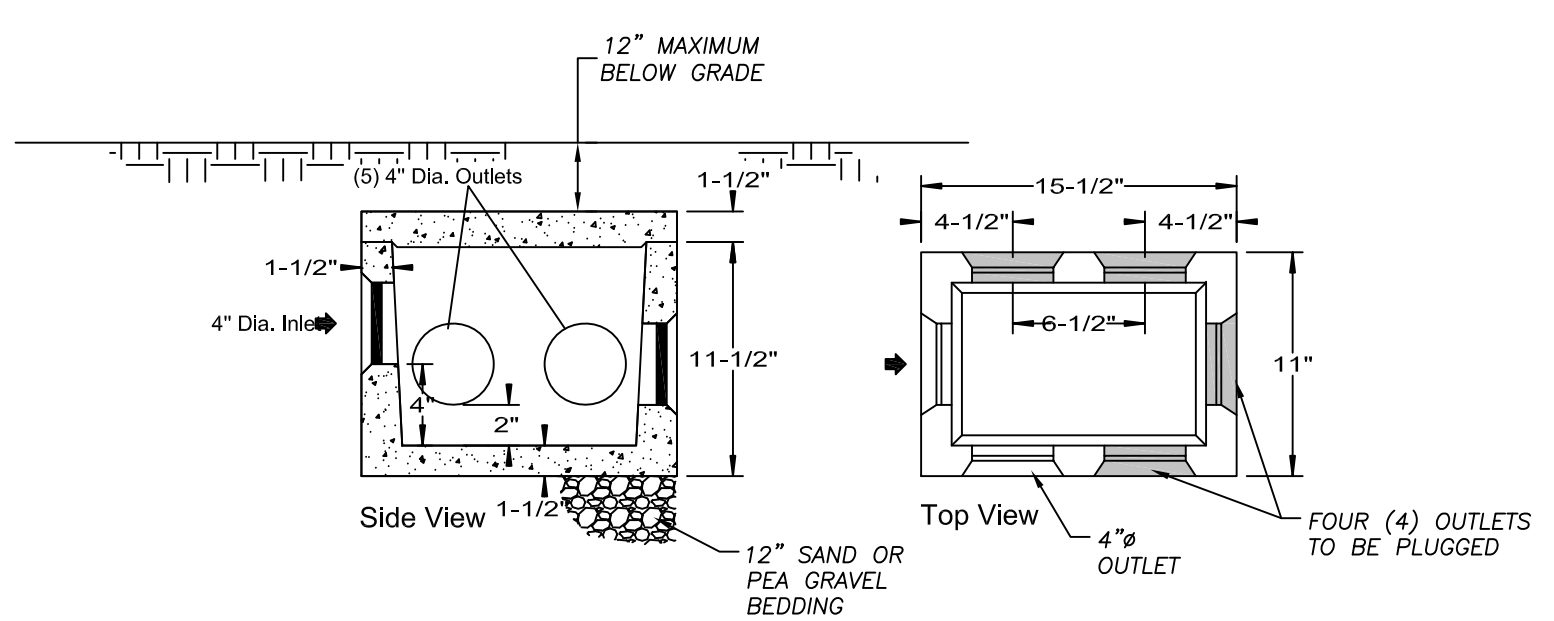
SPECIFICATIONS	PRECAST TRAFFIC DUTY 1000 GALLONS SEPTIC TANK AND GREASE TRAP
Concrete Min. Strength: 4,000 psi at 28 days	
Reinforcement: #4 & #5 Rebar / ASTM A615	
Air Entrainment: 6%	
Construction Joint: Butyl Rubber Sealant	
Pipe Connection: Polylok Seal or as needed	
Load Rating: HS20-44 + 30% / ASTM C857	

SEWAGE DISPOSAL SYSTEM DESIGN:

2 EMPLOYEES X 15 GPD/EMPLOYEE = 30 GPD
 PRIMARY AREA - REQUIRED AREA: 30 GPD/0.6 GPD/SF = 50 SF
 REQUIRED ABSORPTION FIELD LENGTH: 50 SF/2 FT = 25 LF
 PROPOSED ABSORPTION FIELD: 1 ROWS OF 25 LF
 EXPANSION AREA - 100% EXPANSION AREA IS PROVIDED: 1 ROWS OF 25 LF

ELEVATIONS:

GRADE AT FIRST LATERAL:	169.5
INVERT AT FIRST LATERAL:	168.0
DISTRIBUTION BOX - OUTLET INVERT:	168.1
DISTRIBUTION BOX - INLET INVERT:	168.3
SEPTIC TANK - OUTLET INVERT:	168.5
SEPTIC TANK - INLET INVERT:	168.8
LOWEST SEWERABLE ELEVATION:	170.3



SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-6 / 5-OUTLET BOX
Concrete Min. Strength: 4,000 psi at 28 days	
Reinforcement: Fiber	
Air Entrainment: 5%	
Pipe Connection: Polylok Seal (patented)	
Load Rating: 300 psf	
Weight = 75 lbs	

BY DATE: 5/24/23
 REVISION: REVISED PER 8-2-23 COMMENT LETTER
 NO. 1, 2, 3, 4, 5, 6
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 State of New York Licensed Professional Engineer 085155

FISHKILL SELF STORAGE FACILITY
 1292 ROUTE 9D, TOWN OF FISHKILL
 DUTCHESS COUNTY, NEW YORK
 SDS CONSTRUCTION DETAILS

DRAWN:
 CHECKED: LJP
 DATE: DECEMBER 14, 2022
 SCALE: 1" = 30'
 JOB NUMBER: 22-12

WATER MAIN NOTES:

PROPOSED WATER PIPE SHALL BE CLASS 52 MINIMUM DUCTILE IRON OR APPROVED EQUAL.

THE INSTALLATION OF THE WATER MAIN SHALL BE INSPECTED BY THE APPLICANTS ENGINEER, WHO SHALL BE RESPONSIBLE FOR CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE DUTCHESS COUNTY HEALTH DEPARTMENT. THE CONTRACTOR SHALL NOT BACKFILL ANY PORTION OF THE MAIN WITHOUT THE APPROVAL OF THE CERTIFYING ENGINEER. THE CERTIFYING ENGINEER SHALL BE A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING THE WATER MAIN IN CONFORMANCE WITH THE LATEST EDITION OF AWWA C600-10. THIS PRESSURE TEST SHALL BE JOINTLY WITNESSED BY THE APPLICANTS ENGINEER AND THE TOWN OF FISHKILL ENGINEER.

PRESSURE AND LEAKAGE TEST -
TEST PRESSURE SHALL BE 150 PSI, AND NOT BE LESS THAN 1.25 TIMES WORKING PRESSURE AT THE HIGHEST POINT ALONG THE TEST SECTION.
TEST PRESSURE SHALL NOT EXCEED PIPE OR THRUST-RESTRAINT DESIGN PRESSURES.
THE HYDROSTATIC TEST SHALL BE AT LEAST A 2-H DURATION.
TEST PRESSURE SHALL NOT VARY BY MORE THAN ±5 PSI FOR DURATION OF THE TEST.

ALLOWABLE LEAKAGE -
NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:
IN INCH-POUND UNITS,

$$L = \frac{SQ \cdot P}{145,000}$$

WHERE:
L=ALLOWABLE LEAKAGE, IN GALLONS PER HOUR,
S=LENGTH OF PIPE TESTED, IN FEET,
D=NOMINAL DIAMETER OF THE PIPE, IN INCHES,
P=AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUND PER SQUARE INCH.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISINFECTING THE NEW WATER MAIN SUBSEQUENT TO AN ACCEPTABLE PRESSURE TEST. THE METHOD OF DISINFECTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF AWWA C651-14 WITH THE EXCEPTION THAT THE "SLOTT" AND "TABLET" METHODS SHALL NOT BE ALLOWED. TWO SETS OF SAMPLES SHALL BE COLLECTED FOR: CHLORINE RESIDUAL, TOTAL COLIFORM, AND HETEROTROPIC PLATE COUNT.

PROCEDURE FOR CHLORINATING THE MAIN:
WATER ENTERING THE NEW MAIN SHALL RECEIVE A DOSE OF CHLORINE FED AT A CONSTANT RATE SUCH THAT THE WATER WILL HAVE NOT LESS THAN 25 MG/L FREE CHLORINE. THE CHLORINATED WATER SHALL BE RETAINED IN THE MAIN FOR AT LEAST 24 H, DURING WHICH TIME ALL VALVES IN THE TREATED SECTION SHALL BE OPERATED TO ENSURE DISINFECTION OF THE APPURTENANCES. AT THE END OF THIS 24-H PERIOD, THE TREATED WATER IN ALL PORTIONS OF THE MAIN SHALL HAVE A RESIDUAL OF NOT LESS THAN 10 MG/L FREE CHLORINE.

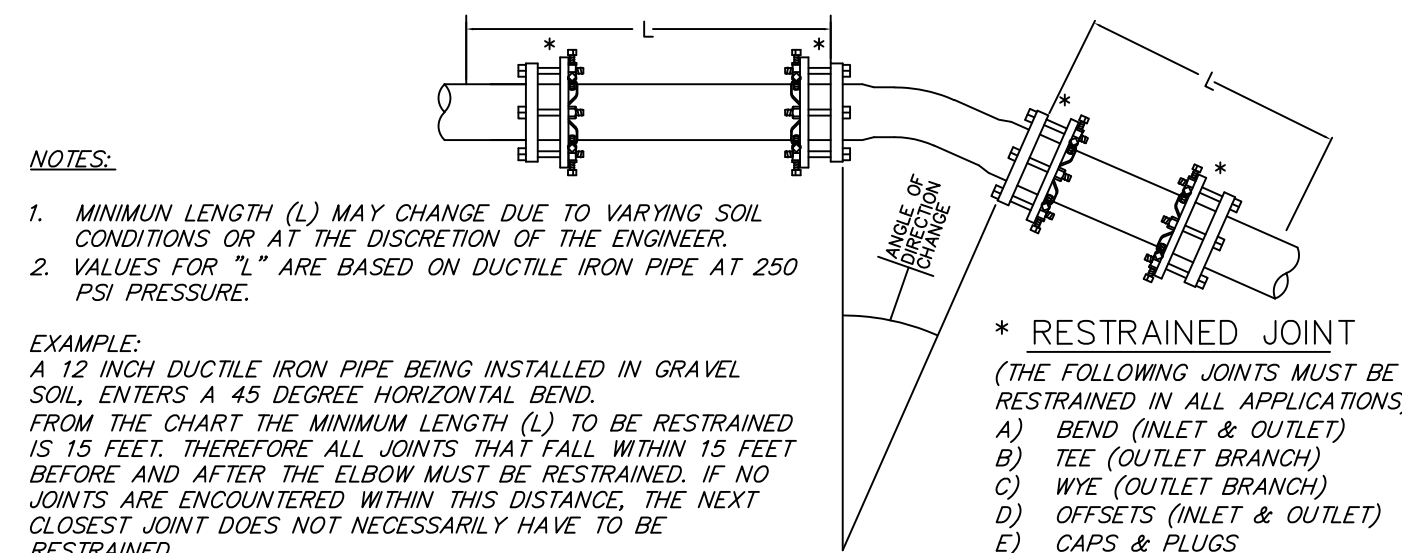
AFTER THE RETENTION PERIOD, THE HEAVILY CHLORINATED WATER SHALL BE FLUSHED UNTIL THE FREE CHLORINE RESIDUAL IS LESS THAN 4 MG/L. AFTER FINAL FLUSHING TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HOURS APART SHALL BE COLLECTED FROM THE NEW MAIN AND TESTED FOR TOTAL COLIFORM BACTERIA. THE CHAIN OF CUSTODY FOR THE WATER MAIN BACTERIA SAMPLES MUST INDICATE THE FIELD CHLORINE RESIDUAL IN ORDER TO BE CONSIDERED VALID. THE RESULTS SHALL BE SUBMITTED WITH THE ENGINEER'S CERTIFICATION. THE CERTIFICATION MUST INCLUDE A DESCRIPTION OF THE DISINFECTION PROCEDURES USED INCLUDING SPECIFIC DATES, TIMES AND INTERMEDIATE CHLORINE RESIDUALS.

ALL DIP WATER PIPE AND FITTINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF AWWA C600 AND THE DUCTILE IRON PIPE RESEARCH ASSOCIATION INSTALLATION GUIDE FOR DUCTILE IRON PIPE.

ALL DIP PIPE AND FITTINGS SHALL BE CLASS 52 MINIMUM DUCTILE IRON PIPE, PUSH ON OR MECHANICAL JOINT, CONFORMING TO AWWA C110, AWWA C111, AWWA C150, AWWA C151 AND AWWA C153. ALL JOINTS AND FITTINGS SHALL BE RESTRAINED WITH THE USE OF THE FIELD LOK 350 GASKETS OR MEGA-LUGS OR APPROVED EQUAL.

THE VALVES SHALL BE MUELLER A-2360 RESILIENT WEDGE GATE VALVES CONFORMING TO AWWA C509 (OR EQUAL APPROVED BY THE TOWN OF WAPPINGER WATER DEPARTMENT AND THE CERTIFYING ENGINEER).

ALL OTHER BENDS SHALL BE ANCHORED VIA RESTRAINED JOINTS IN LIEU OF THRUST BLOCKING. RESTRAINING GLANDS SHALL BE "MEGA-LUG" (OR EQUAL). ALL RODDING SHALL BE COATED WITH TWO COATS OF BITUMINOUS MATERIAL. THE LENGTH OF RESTRAINED PIPE FOR EACH JOINT SHALL BE DICTATED BY THE CERTIFYING ENGINEER AT THE TIME OF INSTALLATION.



THRUST RESTRAINING DATA
Approximate thrust of fittings per 250 psi pressure (lbs. force)

NOM. PIPE SIZE	FITTING 45 ELBOW	FITTING 45 ELBOW	CLOSED VALVES AND HEAD ENDS
3	3,500	2,100	2,800
4	6,300	3,850	4,550
6	14,000	8,050	10,150
8	25,150	14,350	17,800
10	39,150	22,000	27,600
12	55,900	31,800	39,500
16	X	X	X

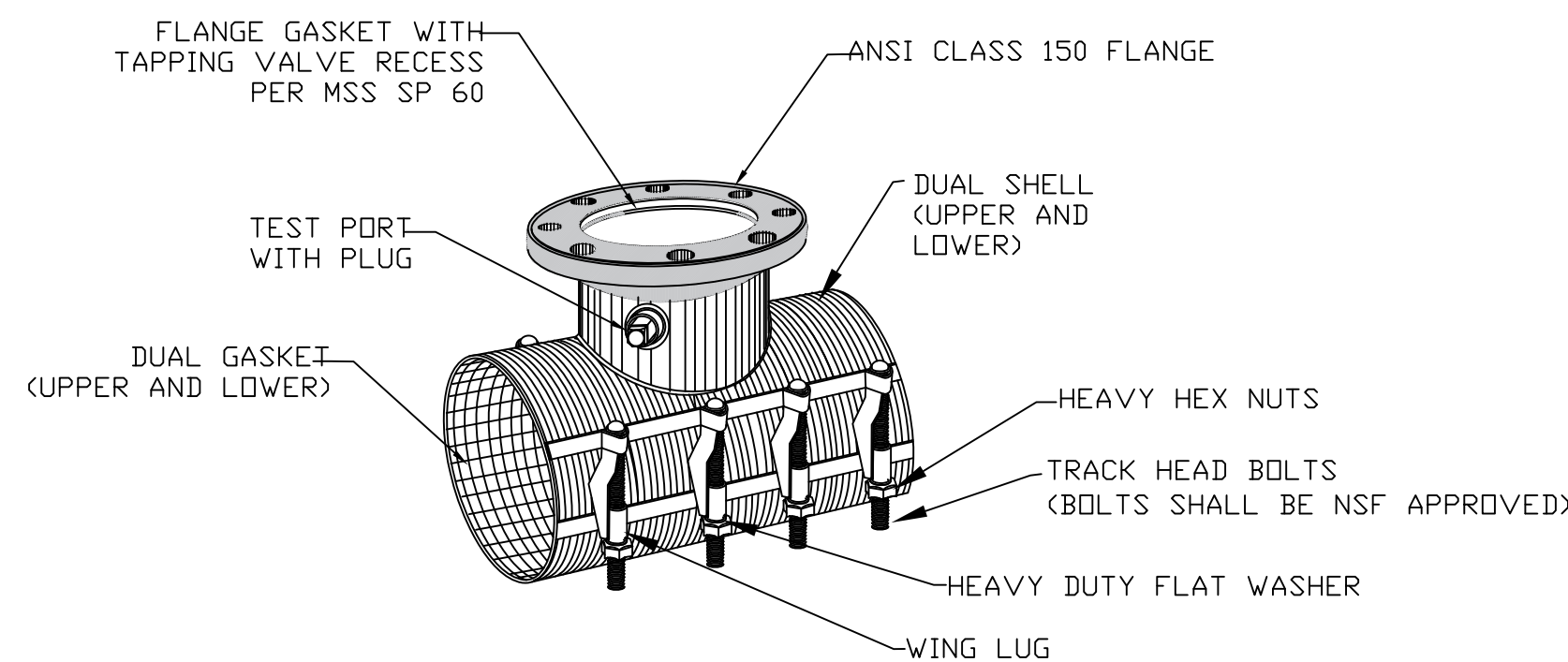
L-MINIMUM LENGTH TO BE RESTRAINED ON EACH SIDE OF FITTING (FT)

NOM. PIPE SIZE	GRAVEL			CLOSED VALVES AND HEAD ENDS
	11 1/4'	22 1/2'	45'	
3	1	2	5	12
4	2	3	6	15
6	2	4	8	20
8	3	6	12	28
10	3	7	14	33
12	4	7	15	37
16	5	10	21	50

MECHANICAL JOINT RESTRAINT SHALL BE INCORPORATED IN THE DESIGN OF THE FOLLOWER GLAND AND SHALL INCLUDE A RESTRAINING MECHANISM WHICH, WHEN ACTUATED, IMPARTS MULTIPLE WEDGING ACTION AGAINST THE PIPE, INCREASING ITS RESISTANCE AS THE PRESSURE INCREASES. FLEXIBILITY OF THE JOINT SHALL BE MAINTAINED AFTER BURIAL. GLANDS SHALL BE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A 536-80. RESTRAINING DEVICES SHALL BE OF DUCTILE IRON HEAT TREATED TO A MINIMUM HARDNESS OF 370BHN. DIMENSIONS OF THE GLAND SHALL BE SUCH THAT IT CAN BE USED WITH THE STANDARDIZED MECHANICAL JOINT BELL AND TEE-HEAD BOLTS CONFORMING TO ANSI/AWWA A21.11 AND ANSI/AWWA C153/A21.53 OF LATEST REVISION. TWIST OFF NUTS SHALL BE USED TO INSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINT DEVICE SHALL HAVE A WORKING PRESSURE OF AT LEAST 250 PSI FOR 6" THRU 16" DIAMETERS, WITH A MINIMUM SAFETY FACTOR OF 2:1 AND SHALL BE EBAA IRON, INC. "MEGALUG" OR APPROVED EQUAL.

PIPE JOINT RESTRAINT INFORMATION

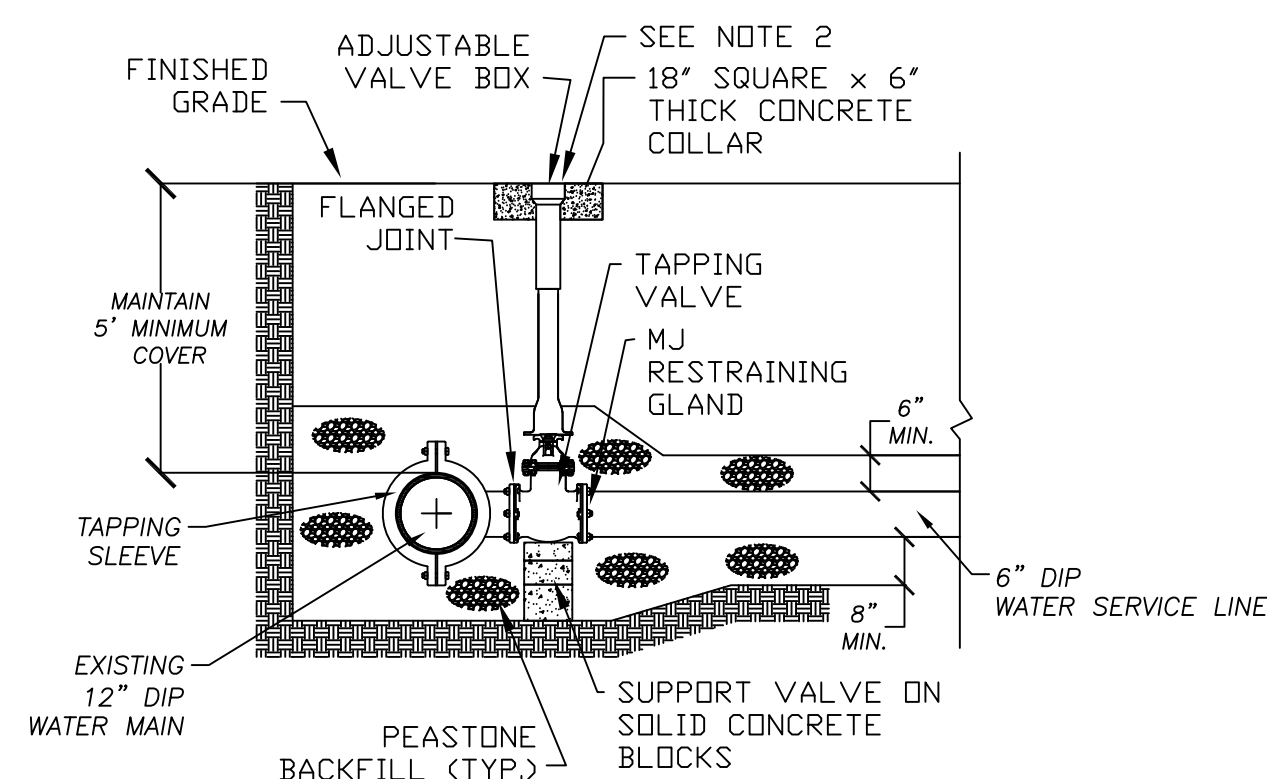
NO SCALE



- NOTES:**
- TAPPING SLEEVES SHALL BE 12" x 6" TPS TRIPLE TAP STAINLESS STEEL TAPPING SLEEVE APPROVED BY THE TOWN OF FISHKILL WATER SYSTEM OPERATOR. TAPPING SLEEVE SHALL BE NSF/ANSI STANDARD 61 APPROVED.
 - FLANGE SHALL BE ANSI CLASS 150 WITH AN ALLOWABLE MAXIMUM WORKING PRESSURE OF UP TO 260 PSI.
 - PIPE SURFACES SHALL BE CLEANED THOROUGHLY TO PERMIT A GOOD SEAL PRIOR TO INSTALLATION.

STAINLESS STEEL TAPPING SLEEVE DETAIL

NOT TO SCALE



- NOTES:**
- TAPPING OF THE EXISTING WATER MAIN SHALL BE PERFORMED BY THE QUALIFIED CONTRACTOR ACCEPTABLE TO THE TOWN OF FISHKILL WATER SYSTEM OPERATOR.
 - PROVIDE TWO LAYERS OF 15# ASPHALT FELT ROOFING PAPER BETWEEN VALVE BOX AND CONCRETE COLLAR TO PREVENT CONCRETE FROM ADHERING TO RISER.
 - ALL JOINTS AND FITTINGS TO BE MECHANICALLY RESTRAINED.

WET TAP CONNECTION DETAIL

NOT TO SCALE

REVISION	BY	DATE
REVISED PER 3-22 COMMENT LETTER		5/24/23
NO.		
1.		
2.		
3.		
4.		
5.		
6.		

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FISHKILL, NEW YORK 12524
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Civil, Sanitary & Site Engineering
Site Planning & Assessment

STATE OF NEW YORK
LAWRENCE J. PAGGI
LICENSED PROFESSIONAL ENGINEER
065155

FISHKILL SELF STORAGE FACILITY
1292 ROUTE 9D, TOWN OF FISHKILL
DUTCHESS COUNTY, NEW YORK
WATER SERVICE CONSTRUCTION DETAILS

DRAWN:

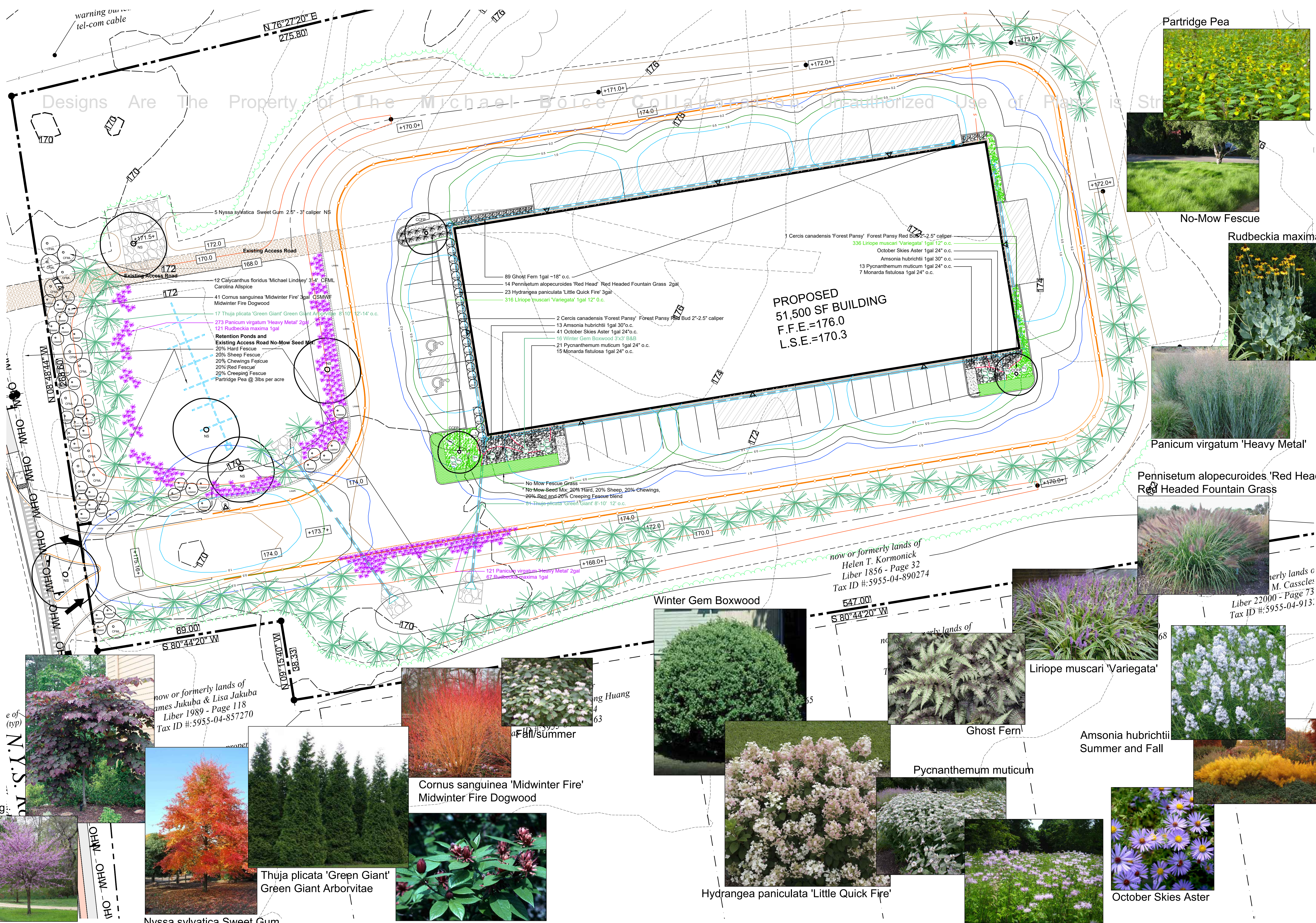
CHECKED:
LJP

DATE:
DECEMBER 14, 2022

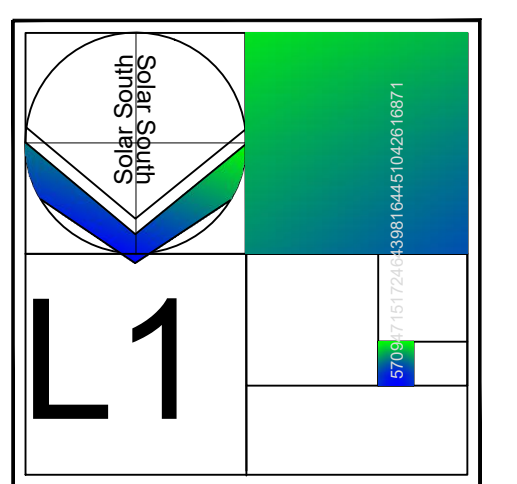
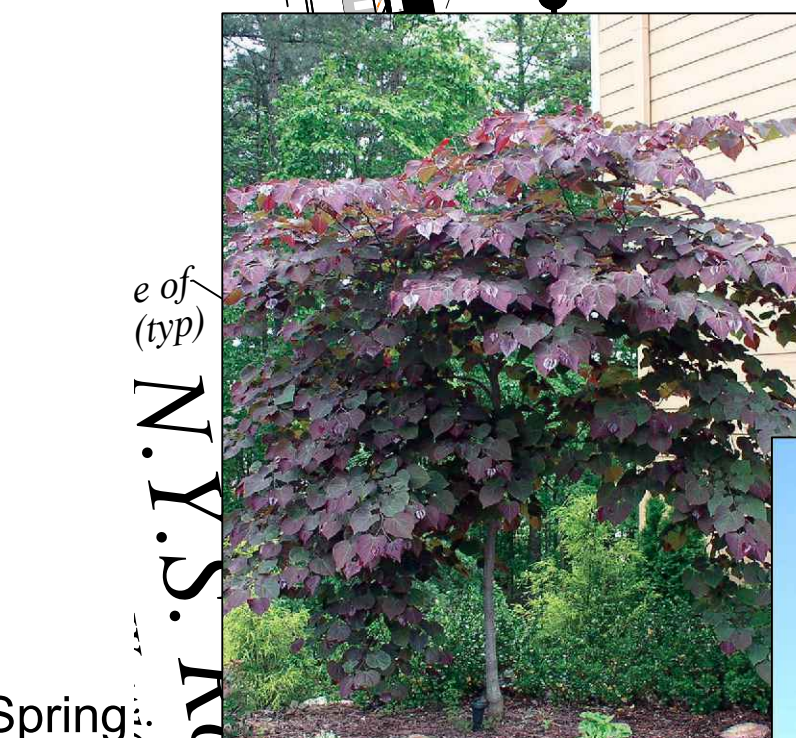
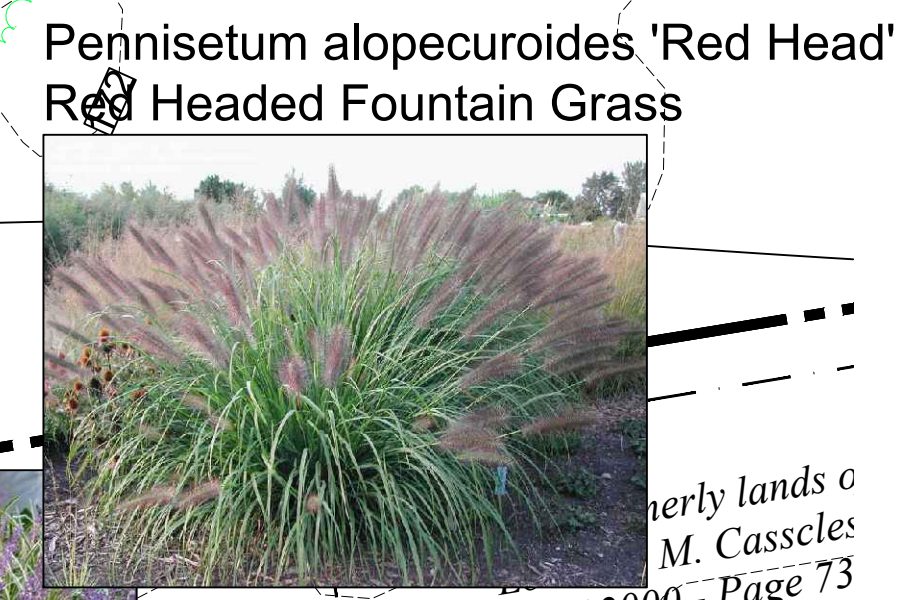
SCALE:
1" = 30'

JOB NUMBER:
22-12

SHEET #
C9
SHEET 9 OF 9



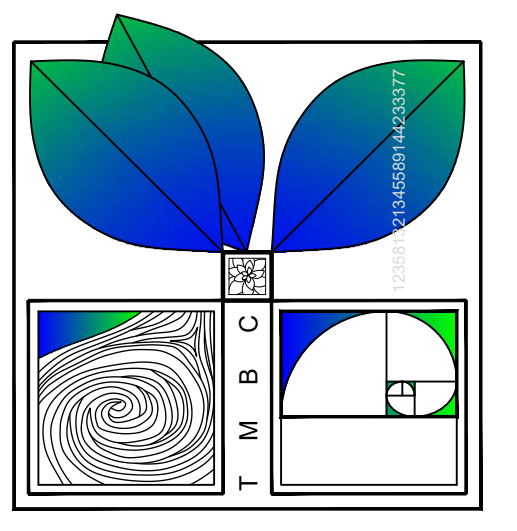
Designs Are The Property of The Michael Boice Collaboration. Unauthorized Use of Plans is Strictly Prohibited.



845-702-1004
11 South Fowlerhouse Road, Wappinger Falls, New York, 12590

The Michael Boice Collaboration
DESIGNERS AND MAKERS OF FINE LANDSCAPES

1292 Rt 9D, LLC Fishkill Storage
1292 Rt 9D Fishkill, New York



Scale | 1" = 20'-0"
Date | May 10, 2023
Revisions |

Cercis canadensis 'Forest Pansy' Forest Pansy Red Bud

Nysssa sylvatica Sweet Gum

Thuja plicata 'Green Giant' Green Giant Arborvitae

Calycanthus floridus Carolina Allspice

Cornus sanguinea 'Midwinter Fire' Midwinter Fire Dogwood

Hydrangea paniculata 'Little Quick Fire'

Monarda fistulosa

Pycnanthemum muticum

Amsonia hubrichtii Summer and Fall

Liriope muscari 'Variegata'

Panicum virgatum 'Heavy Metal'

Pennisetum alopecuroides 'Red Head' Red Headed Fountain Grass

Rudbeckia maxima

No-Mow Fescue

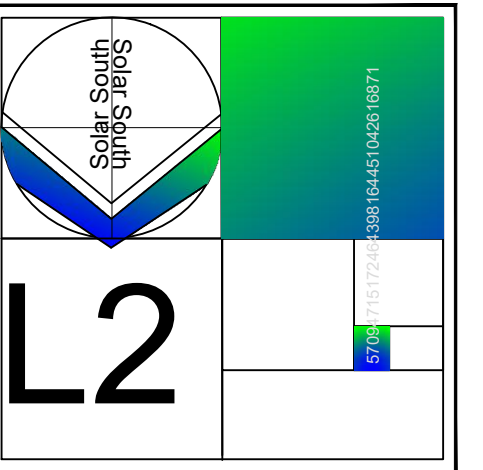
Partridge Pea

PROPOSED
51,500 SF BUILDING
F.F.E.=176.0
L.S.E.=170.3

now or formerly lands of
Helen T. Kormonick
Liber 1856 - Page 32
Tax ID #: 5955-04-890274

formerly lands of
M. Casseles
Liber 22000 - Page 73
Tax ID #: 5955-04-913

now or formerly lands of
James Jukuba & Lisa Jakuba
Liber 1989 - Page 118
Tax ID #: 5955-04-857270



PLANTING NOTES AND SPECIFICATIONS

1. All plant material must conform to American Standard for Nursery Stock ANSI Z60.1-2014

2. Voluntary Alternates/Plant substitutions must be approved by the Designer/Landscape Architect

3. All plant material delivered to the site and or planted must be maintained by the Landscape Contractor until the scope of agreed Landscape work is complete

4. All wire baskets must be either removed from the root ball or cut from the root ball after placing the plant in the planting hole

5. All burlap must be removed from root balls or cut away from the root ball after placing the plant in the planting hole. All planting holes must be 50% wider than the root ball or container root mass.

6a. The indigenous soil or back fill for major trees must not be conditioned unless rocky or unsuitable conditions are present

6b. Incorporate 50% organic soil media and slow release fertilizer per instructions into indigenous soil used to back fill shrubs, perennials and ground cover. Ground cover areas in particular may require mechanical tilling in an effort to create a friable soil texture

6c. Any soil glazing created by the back of the shovel shall be removed by reversing the shovel and caving in the planting hole

7. A soil pH test is highly recommended before planting begins

8. All existing unwanted plant material and weeds and their roots systems must be completely removed from planting beds prior to installing new plant material. The use of Round-Up may be required to eliminate invasive/stoloniferous weeds. Only a licensed professional may apply Round-Up

9. Only non-dyed natural mulch may be used. Install mulch to a depth of 2" - 3"

10. Stake any trees or plants that may be affected by high wind loads.

11. Where an automatic irrigation system is recommended, the Landscape Contractor shall provide proof of CID, CIC, CIT - Certified Irrigation Designer, Contractor, Technician through the Irrigation Association

12. It is the Landscape Contractor's responsibility to comply with all local and state codes. Any permits required for the Landscape Contractor's work must be obtained by the Landscape Contractor

13. It is the Landscape Contractor's responsibility to coordinate the planting schedule with the owner

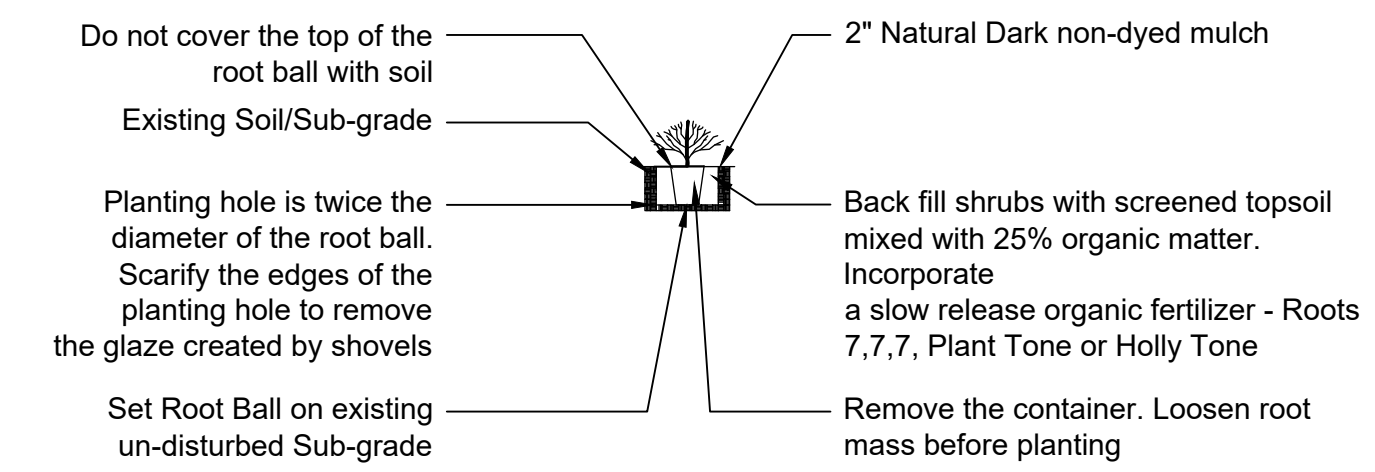
14. Any deviations from the design due to unknown site conditions must be brought to the attention of the Designer/Landscape Architect

15. All Grasses and perennials must be cut back either in fall or early spring - before new foliage emerges. Pennisetum and Panicum must not be pruned lower than 12"

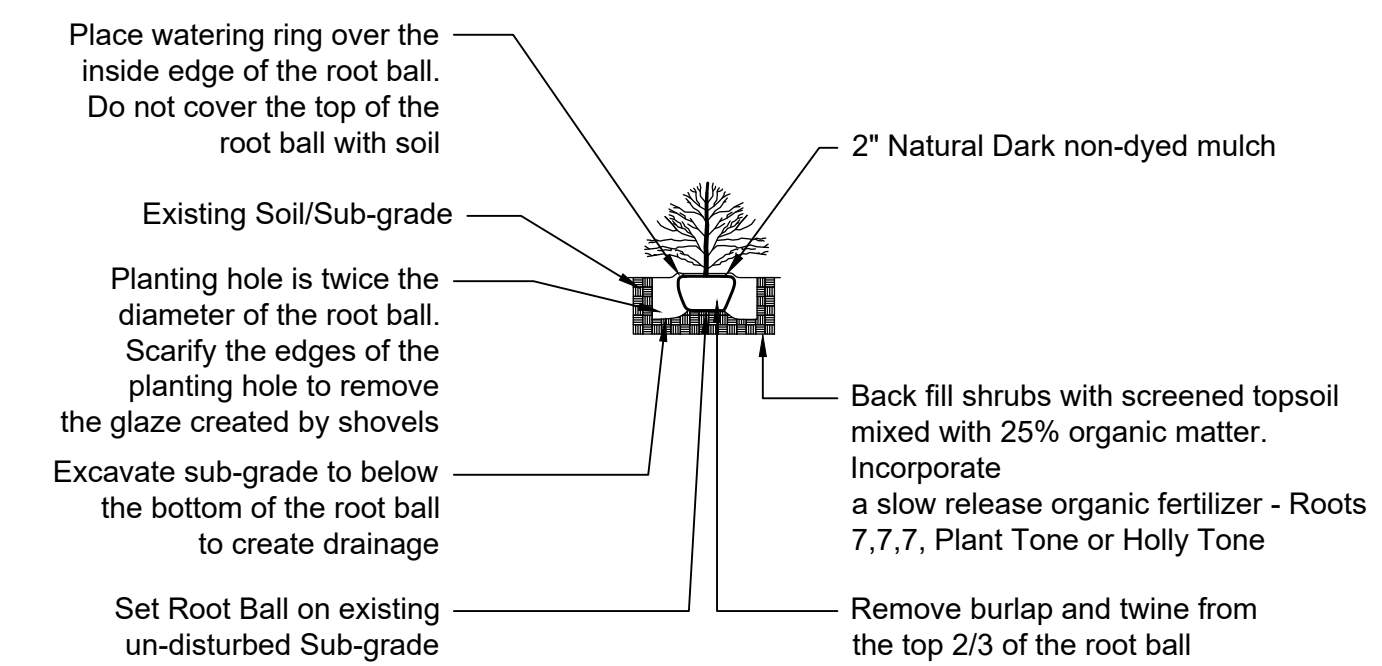
17. Boxwood do not require pruning...prune as desired for shape

* No Mow Seed Mix: 20% Hard, 20% Sheep, 20% Chewings, 20% Red and 20% Creeping Fescue blend and Partridge Pea @ 3lbs per acre

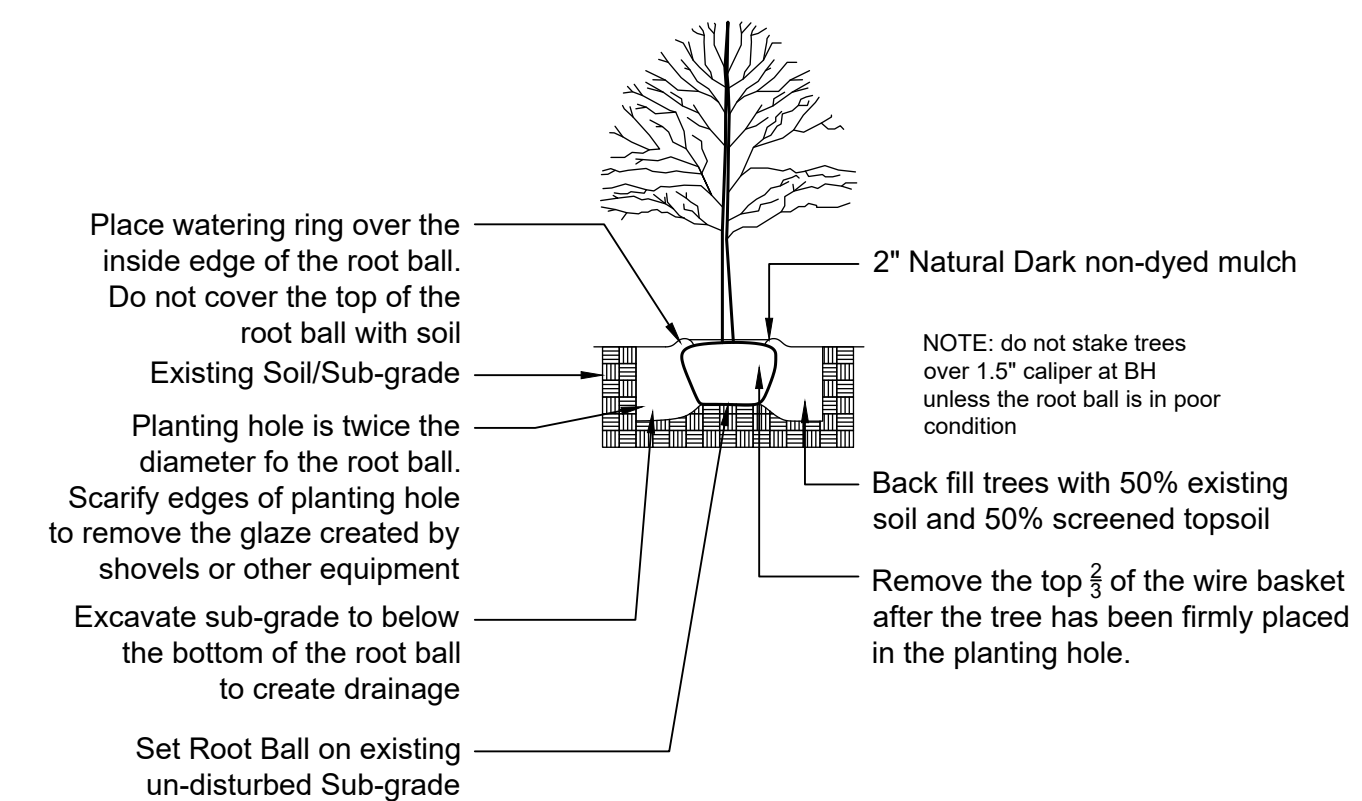
* Apply Seed Mix Rate at 15 pounds per 1,000 square feet. Incorporate Perennial Rye Grass into the No Mow mix as a nurse grass @ 10lbs/1,000 sq ft



CONTAINER PLANTING SPECIFICATIONS



SHRUB PLANTING SPECIFICATIONS



TREE PLANTING SPECIFICATION

845-702-1004

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1292 Rt 9D, LLC Fishkill Storage
1292 Rt 9D Fishkill, New York

Revisions |

Date | May 22, 2023

Scale | 1" = 20' - 0"

